

SITE DATA SUMMARY TABLE						
GENERAL SITE DATA	LOT 1 (PROPOSED)		LOT 2 (PROPOSED)		LOT 3 (PROPOSED)	
ZONING	PD-222		PD-222		PD-222	
LAND USE	MULTIFAMILY		MULTIFAMILY		MIXED USE	
LOT AREA	5.03 AC / 218,945 SF		7.51 AC / 327,241 SF		3.97 AC / 173,109 SF	
OVERALL AREA					83.70 AC / 3,646,014 SF	
BUILDING AREA (PROPOSED)	319,509 GSF		389,698 GSF		406,213 GSF	
BUILDING UNITS	STUDIO:	26 UNITS	STUDIO:	21 UNITS	STUDIO:	24 UNITS
	1 BED:	158 UNITS	1 BED:	193 UNITS	1 BED:	223 UNITS
	2 BED:	101 UNITS	2 BED:	121 UNITS	2 BED:	139 UNITS
	3 BED:	15 UNITS	3 BED:	8 UNITS	3 BED:	10 UNITS
TOTAL:	300 UNITS	TOTAL:	343 UNITS	TOTAL:	396 UNITS	
BUILDING HEIGHT (# STORIES)	65' (5 STORIES)		72' (6 STORIES)		93' (8 STORIES)	
LOT COVERAGE	27.39%		22.08%		36.28%	
FLOOR AREA RATIO	1.46		1.19		2.35	
RETAIL AREA	N/A		N/A		16,660 SF	
OPEN SPACE REQUIRED	259,528 SF (10% OF LOT AREA PER PD)					
OPEN SPACE PROVIDED	POND OPEN SPACE: 25,952 SQUARE FEET (10% OF TOTAL POND AREA)					
	EASEMENT OPEN SPACE: 267,168 SQUARE FEET (50% OF TOTAL OPEN SPACE EASEMENT AREA)					
	TOTAL OPEN SPACE: 293,138 SQUARE FEET (11.3% OF LOT AREA)					
TOTAL REQUIRED PARKING	1.5 SPACE PER 1 BED UNIT:	276	1.5 SPACE PER 1 BED UNIT:	321	1.5 SPACE PER 1 BED UNIT:	371
	1.5 SPACE PER 2 BED UNIT:	152	1.5 SPACE PER 2 BED UNIT:	182	1.5 SPACE PER 2 BED UNIT:	209
	2 SPACE PER 3 BED UNIT:	30	2 SPACE PER 3 BED UNIT:	16	2 SPACE PER 3 BED UNIT:	20
	1 SPACE PER 200SF (RETAIL):	0	1 SPACE PER 200SF (RETAIL):	0	1 SPACE PER 200SF (RETAIL):	84
	TOTAL:	458	TOTAL:	519	TOTAL:	684
STRUCTURED PARKING (WITH PERCENTAGE)	486 SPACES / 98.78%		551 SPACES / 97.87%		737 SPACES / 98.93%	
ON-STREET SURFACE PARKING (WITH PERCENTAGE)	6 SPACES / 1.22%		3 SPACES / 0.53%		0 SPACES / 0.00%	
OFF-STREET SURFACE PARKING (WITH PERCENTAGE)	0 SPACES / 0.00%		9 SPACES / 1.60%		8 SPACES / 1.07%	
TOTAL PARKING PROVIDED	492 SPACES		563 SPACES		745 SPACES	
TOTAL BICYCLE PARKING REQUIRED	46 SPACES		52 SPACES		69 SPACES	
TOTAL BICYCLE PARKING PROVIDED	46 SPACES		54 SPACES		60 SPACES	
TOTAL HANDICAP PARKING REQUIRED	9 SPACES		12 SPACES		15 SPACES	
TOTAL HANDICAP PARKING PROVIDED	10 SPACES		12 SPACES		16 SPACES	
					2 SPACES / 33.33%	
					4 SPACES / 66.67%	
					4 SPACES / 100.00%	
					0 SPACES / 0.00%	
					4 SPACES	
					3 SPACES	

GENERAL SITE DATA	LOT 7 (PROPOSED)		LOT 8 (PROPOSED)		LOT 9 (PROPOSED)		LOT 10 (PROPOSED)		LOT 11 (PROPOSED)	
ZONING	PD-222		PD-222		PD-222		PD-222		PD-222	
LAND USE	VACANT-MIXED USE		VACANT-MIXED USE		VACANT-MIXED USE		VACANT-MIXED USE		VACANT-MIXED USE	
LOT AREA	8.06 AC / 351,156 SF		7.65 AC / 333,138 SF		9.18 AC / 400,096 SF		2.96 AC / 128,893 SF		10.43 AC / 454,132 SF	
OVERALL AREA										

BUILDING SUMMARY TABLE				
LOT	BUILDING	HEIGHT	TOTAL AREA (SF)	FIRST FLOOR AREA (SF)
1	A	65	319,509	59,969
2	B	72	389,698	72,250
3	C	93	406,213	62,808

Kimley»Horn
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 2600 NORTH CENTRAL EXPRESSWAY, SUITE 400
 RICHARDSON, TEXAS 75080
 PHONE: 214-617-0535
 WWW.KIMLEY-HORN.COM TX F-928

PRELIMINARY
 FOR REVIEW ONLY
 Not for construction or permit purposes.
Kimley»Horn
 Engineer: SHAY E. GEACH
 P.E. No. 127857 Date: 04/16/2024

KHA PROJECT	064464202
DATE	04/16/2024
SCALE	AS SHOWN
DESIGNED BY	SMG
DRAWN BY	GSP
CHECKED BY	SEG

ZARKY 92 ACRES
 CITY OF FRISCO
 DENTON COUNTY, TEXAS

PRELIMINARY SITE PLAN

SHEET NUMBER
PSP-1

ACTION	
APPROVED	DENIED
STAFF _____	_____
Date _____	Initials _____
P&Z _____	_____
Date _____	Initials _____
Neighborhood # _____	
See the Staff Approval Letter or P&Z Result Memo for any conditions associated with the approval of the project.	

PRELIMINARY SITE PLAN
ZARKY 92 ACRES, BLOCK A, LOTS 1 - 11
 CITY PROJECT NO. PSP24-0014
 BEING 91.7289 ACRES
 CRAIN & WARREN SURVEY, ABST. NO. 229,
 DENTON COUNTY
 JAMES BOLIN SURVEY, ABST. NO. 31,
 CITY OF FRISCO, COLLIN COUNTY, TEXAS
 PREPARATION DATE: APRIL 16, 2024

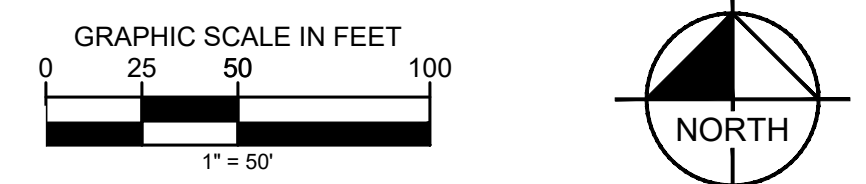
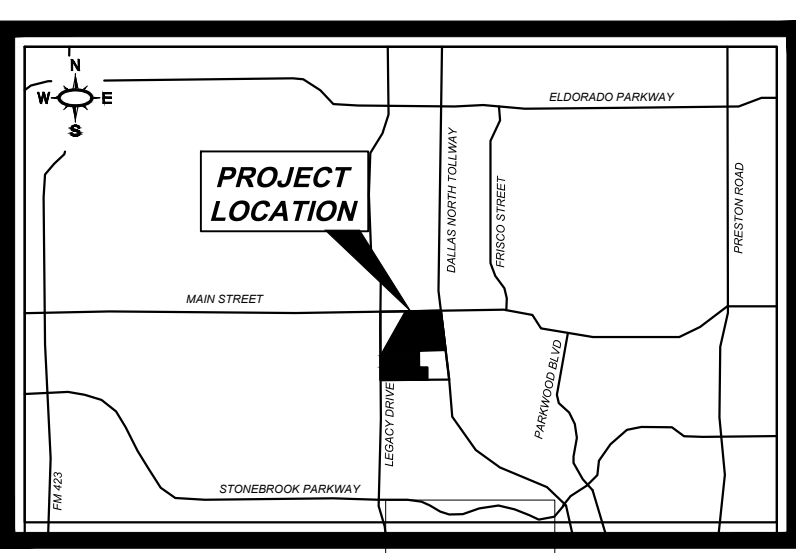
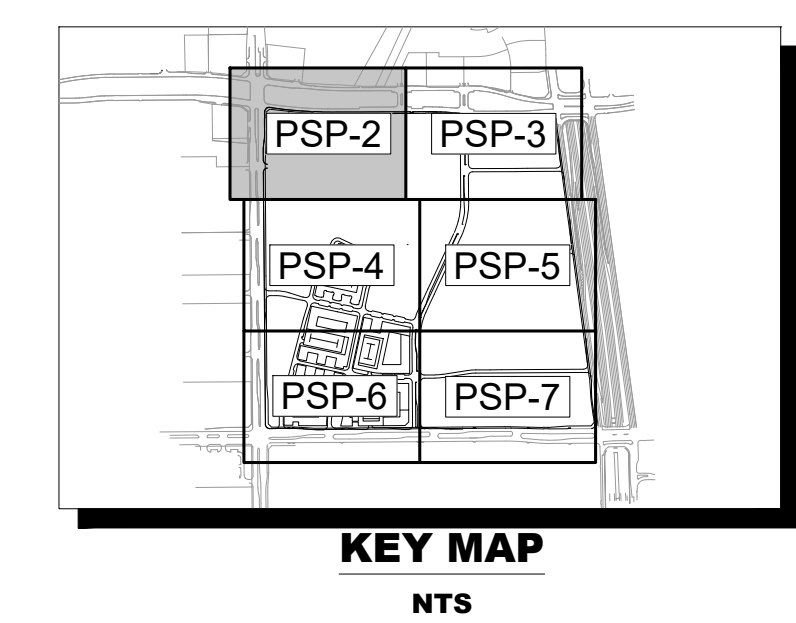
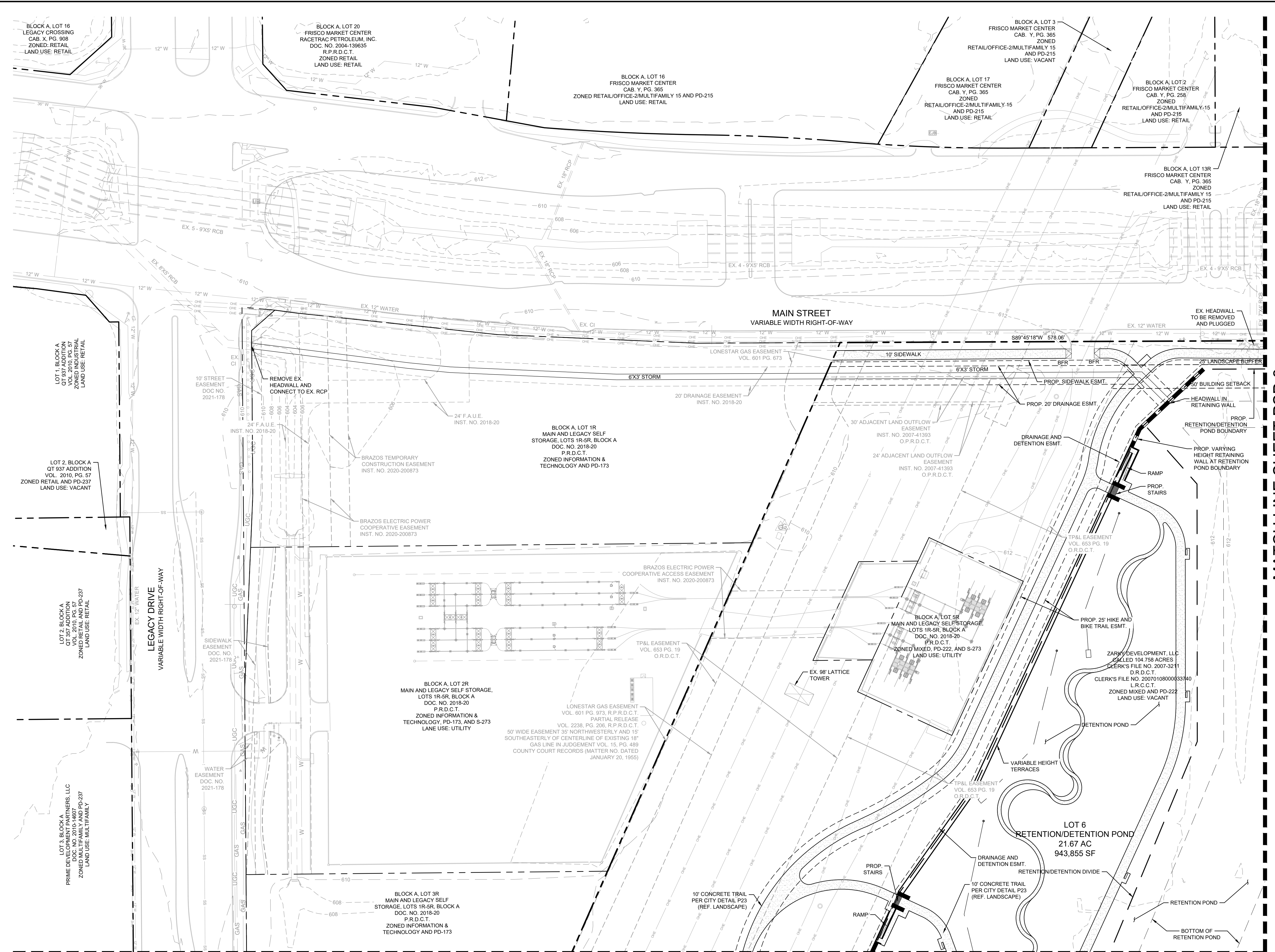
OWNER:
 ZARKY DEVELOPMENT LLC
 5530 NORTH FORTY PLACE
 DALLAS, TEXAS 75252
 EMAIL: DRW@WEINREBVENTURES.COM
 CONTACT: DAVID WEINREB

ARCHITECT:
 WDG ARCHITECTURE DALLAS, PLLC
 2001 BRYAN STREET, SUITE 3100
 DALLAS, TEXAS 75201
 PHONE: (214) 939-7925
 CONTACT: WILL DUNCAN, AIA

ENGINEER / SURVEYOR / APPLICANT/LANDSCAPE ARCHITECT:
 KIMLEY-HORN AND ASSOCIATES, INC.
 2600 NORTH CENTRAL EXPRESSWAY,
 SUITE 400, RICHARDSON, TEXAS 75080
 PHONE: (972) 770-1360
 CONTACT: SHAY GEACH, P.E.

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 KIMLEY-HORN AND ASSOCIATES, INC.
 PRELIMINARY SITE PLAN

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LEGEND

	PROPERTY LINE
	SETBACK LINE
	EASEMENT LINE
	EXISTING CONTOUR
	PROPOSED FIRE LANE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED STORM LINE
	EXISTING OVERHEAD ELECTRIC
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM LINE
	PROPOSED RETAINING WALL
	BARrier FREE RAMP
	ACCESSIBLE PARKING SYMBOL
	PARKING STALL COUNT
	WATER METER
	FIRE HYDRANT
	FIRE DEPARTMENT CONNECTION
	SANITARY SEWER MANHOLE
	CURB INLET
	JUNCTION BOX
	TRANSFORMER
	MECHANICAL SEPARATOR
	PROPOSED F.A.U.E.
	PROPOSED EMERGENCY-ONLY FIRE LANES AND PEDESTRIAN WAY
	PROPOSED SIDEWALK

KEY

TYP	TYPICAL	EX	EXISTING
BFR	BARrier FREE RAMP	IRR	IRRIGATION
FH	FIRE HYDRANT	CI	CURB INLET
MH	MANHOLE	JB	JUNCTION BOX
WM	WATER METER	FDC	FIRE DEPARTMENT CONNECTION
DOM	DOMESTIC	ESMT	EASEMENT
CO	CLEAN OUT	F.A.U.E	FIRE LANE, ACCESS, AND UTILITY EASEMENT
GT	GREASE TRAP	WE	WATER EASEMENT
WYE	WYE INLET		

MATCH LINE SHEET PSP-3

MATCH LINE SHEET PSP-4

- CITY OF FRISCO NOTES**
1. ANY REVISION TO THIS PLAN WILL REQUIRE CITY APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
 2. OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 3. BUILDINGS WITH AN AGGREGATE SUM OF 5,000 SQUARE FEET OR GREATER ON A LOT SHALL HAVE AUTOMATIC FIRE SPRINKLERS INSTALLED THROUGHOUT ALL STRUCTURES. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
 4. ALL SIGNAGE IS SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.
 5. ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.
 6. WHEN USED, WHEEL STOPS SHALL BE INSTALLED SO THAT ALL SURFACE PARKING SPACES ARE A MINIMUM OF 18 FEET DEEP MEASURED FROM THE FACE OF THE WHEEL STOP. ANY VERTICAL OBSTRUCTION IN FRONT OF A SURFACE PARKING SPACE SHALL BE LOCATED 20 FEET FROM THE BACK OF THE PARKING SPACE.
 7. THE THROUGHFARE ALIGNMENT(S) SHOWN ON THIS EXHIBIT ARE FOR ILLUSTRATION PURPOSES AND DOES NOT SET THE ALIGNMENT. THE ALIGNMENT IS DETERMINED AT TIME OF FINAL PLAN.

DETENTION NOTE
ON-SITE DETENTION IS REQUIRED. REFER TO ZARKY DEVELOPMENT DOWNSTREAM ASSESSMENT DATED 12/11/2023 PREPARED BY KIMLEY-HORN AND ASSOCIATES FOR ADDITIONAL INFORMATION.

TREE STATEMENT
TREES ARE BEING REMOVED ON THIS SITE. NO TREES BEING REMOVED ARE PROTECTED.

FLOOD STATEMENT
ACCORDING TO THE FLOOD INSURANCE MAP (FIRM) MAP NO. 4812C040G, DATED APRIL 2011, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR DENTON COUNTY, TEXAS, AND FIRM MAP NO. 4805C024K, DATED JUNE 2017, PREPARED BY FEMA FOR COLLIN COUNTY, TEXAS, THIS PROPERTY IS WITHIN ZONE X (UNSHADED).

OWNER:
ZARKY DEVELOPMENT LLC
2500 NORTH CENTRAL EXPRESSWAY, SUITE 400, RICHARDSON, TEXAS 75082
CONTACT: DAVID WEINREB

ARCHITECT:
WDG ARCHITECTURE DALLAS, PLLC
2001 BRYAN STREET, SUITE 3100
DALLAS, TEXAS 75201
PHONE: (214) 939-7925
CONTACT: WILL DUNCAN, AIA

ENGINEER / SURVEYOR / APPLICANT/LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC.
2600 NORTH CENTRAL EXPRESSWAY, SUITE 400, RICHARDSON, TEXAS 75080
PHONE: (972) 770-1360
CONTACT: SHAY GEACH, P.E.

- NOTES**
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
 2. ALL RADII ARE 2' OR 10' UNLESS NOTED OTHERWISE.
 3. HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS.
 4. ALL 18-FOOT DEEP PARKING STALLS SHALL PROVIDE A 2-FOOT PARKING OVERHANG OFFSET PER THE ORDINANCE.
 5. FIRE LANES SHALL BE PROVIDED IN ACCORDANCE WITH FRISCO REQUIREMENTS AND SHALL HAVE A MIN. INSIDE TURNING RADIUS OF 20'.
 6. FIRE HYDRANTS SHALL BE PROVIDED IN ACCORDANCE WITH FRISCO REQUIREMENTS AND WILL BE LOCATED IN A 10x10' WATER EASEMENT.
 7. SIDEWALKS AND BFR SHALL BE PROVIDED WITH FINAL DESIGN.
 8. ALL SCREENING WILL BE PROVIDED IN ACCORDANCE WITH FRISCO REQUIREMENTS.
 9. STREET EASEMENTS SHALL BE PROVIDED AT ALL DECELERATION LANES PER CITY REQUIREMENTS.
 10. ALL 3' METER SERVICES SHALL BE LOCATED IN A CONCRETE WALL.
 11. THE TOTAL REQUIRED OPEN SPACE WAS CALCULATED WITHOUT INCLUDING ANY R.O.W. RESERVATION AREAS TO BE DEDICATED WITH THE CONVEYANCE PLAN.
 12. OPEN SPACE TO BE BUILT IN CONFORMANCE WITH EXHIBIT J FROM THE DEVELOPMENT AGREEMENT.
 13. ALL CONCRETE HEADWALLS AND WINGWALLS SHALL HAVE A STONE FINER FINISH UNLESS OTHERWISE APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES. CONCRETE CULVERT HEADWALLS AND WINGWALLS SHALL USE NATURAL STONE OR BRICK VENEER. THE MATERIAL PALETTE SHALL BE SIMILAR AND COMPLEMENTARY TO MATERIALS USED THROUGHOUT THE DEVELOPMENT AND ARE SUBJECT TO APPROVAL BY THE DIRECTOR OF DEVELOPMENT SERVICES.
 14. 22.5' LANDSCAPE EASEMENT DELIVERED PURSUANT TO THE DEVELOPMENT AGREEMENT.

ACTION

APPROVED	_____	DENIED	_____
STAFF	Date _____	Initials _____	
P&Z	Date _____	Initials _____	

Neighborhood # _____

See the Staff Approval Letter or P&Z Result Memo for any conditions associated with the approval of the project.

PRELIMINARY SITE PLAN
ZARKY 92 ACRES, BLOCK A, LOTS 1 - 11
CITY PROJECT NO. PSP24-0014
BEING 91.7289 ACRES
CRAIN & WARREN SURVEY, ABST. NO. 229,
DENTON COUNTY
JAMES BOLIN SURVEY, ABST. NO. 31,
CITY OF FRISCO, COLLIN COUNTY, TEXAS
PREPARATION DATE: APRIL 16, 2024

DATE _____ BY _____

REVISIONS _____ NO. _____

Kimley»Horn
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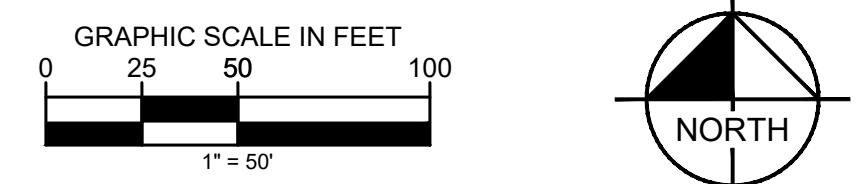
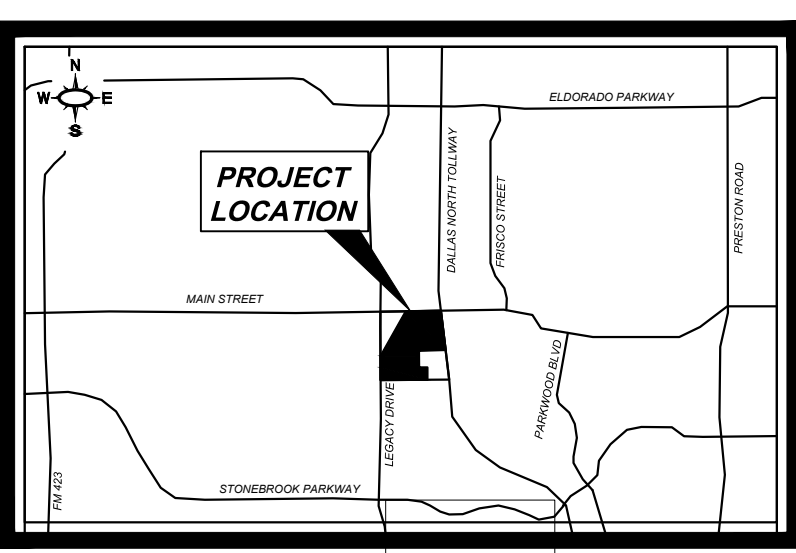
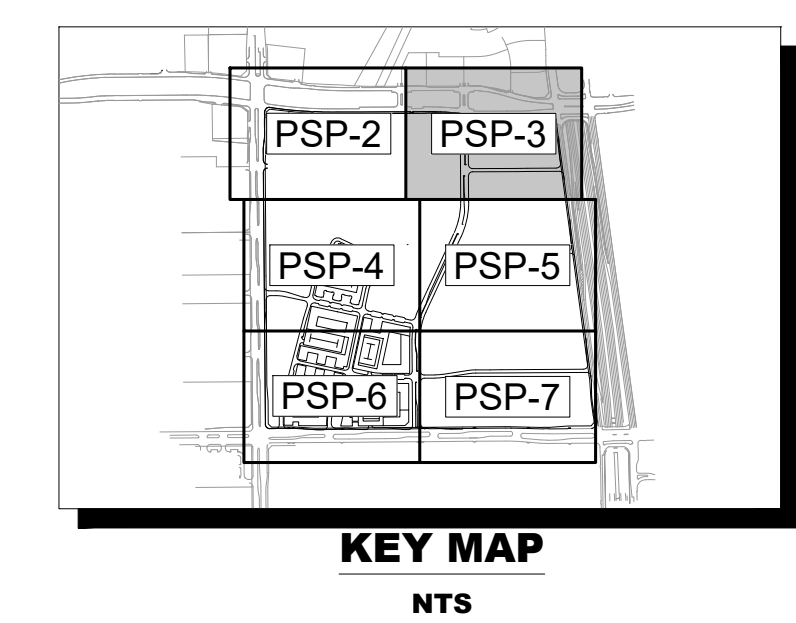
PRELIMINARY
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Not for construction or permit purposes.
Kimley»Horn
Shay E. Geach
P.E. No. 127857 Date 04/16/2024

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	SEC
064464202	04/16/2024	AS SHOWN	SMG	GSP	

ZARKY 92 ACRES
CITY OF FRISCO
DENTON COUNTY, TEXAS

PRELIMINARY SITE PLAN

SHEET NUMBER
PSP-2



LEGEND

---	PROPERTY LINE
---	SETBACK LINE
---	EASEMENT LINE
---	EXISTING CONTOUR
FL	PROPOSED FIRE LANE
SS	PROPOSED SANITARY SEWER LINE
W	PROPOSED WATER LINE
---	PROPOSED STORM LINE
OHE	EXISTING OVERHEAD ELECTRIC
SS	EXISTING SANITARY SEWER LINE
W	EXISTING WATER LINE
---	EXISTING STORM LINE
---	PROPOSED RETAINING WALL
---	BARRIER FREE RAMP
---	ACCESSIBLE PARKING SYMBOL
---	PARKING STALL COUNT
---	WATER METER
---	FIRE HYDRANT
---	FIRE DEPARTMENT CONNECTION
---	SANITARY SEWER MANHOLE
---	CURB INLET
---	JUNCTION BOX
---	TRANSFORMER
---	MECHANICAL SEPARATOR
---	PROPOSED F.A.U.E.
---	PROPOSED EMERGENCY-ONLY FIRE LANES AND PEDESTRIAN WAY
---	PROPOSED SIDEWALK

KEY

TYP	TYPICAL	EX	EXISTING
BFR	BARRIER FREE RAMP	IRR	IRRIGATION
FH	FIRE HYDRANT	CI	CURB INLET
MH	MANHOLE	JB	JUNCTION BOX
WM	WATER METER	FDC	FIRE DEPARTMENT CONNECTION
DOM	DOMESTIC	ESMT	EASEMENT
CO	CLEAN OUT	F.A.U.E.	FIRE LANE, ACCESS, AND UTILITY EASEMENT
GT	GREASE TRAP	WE	WATER EASEMENT
WYE	WYE INLET		

MATCH LINE SHEET PSP-2

MATCH LINE SHEET PSP-5

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 - ALL 3" METER SERVICES SHALL BE LOCATED IN A CONCRETE VAULT.
 - THE TOTAL REQUIRED OPEN SPACE WAS CALCULATED WITHOUT INCLUDING ANY R.O.W. RESERVATION AREAS TO BE DEDICATED WITH THE CONVEYANCE PLAT.
 - OPEN SPACE TO BE BUILT IN CONFORMANCE WITH EXHIBIT J FROM THE DEVELOPMENT AGREEMENT.
 - ALL CONCRETE HEADWALLS AND WINGWALLS SHALL HAVE A STONE VENEER FINISH UNLESS OTHERWISE APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES. CONCRETE CULVERT HEADWALLS AND WINGWALLS SHALL USE NATURAL STONE OR BRICK VENEER. THE MATERIAL PALETTE SHALL BE SIMILAR AND COMPLIMENTARY TO MATERIALS USED THROUGHOUT THE DEVELOPMENT AND ARE SUBJECT TO APPROVAL BY THE DIRECTOR OF DEVELOPMENT SERVICES.
 - 22.5' LANDSCAPE EASEMENT DELIVERED PURSUANT TO THE DEVELOPMENT AGREEMENT.

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DETENTION NOTE
ON-SITE DETENTION IS REQUIRED. REFER TO ZARKY DEVELOPMENT DOWNSTREAM ASSESSMENT DATED 12/11/2023 PREPARED BY KIMLEY-HORN AND ASSOCIATES FOR ADDITIONAL INFORMATION.

TREE STATEMENT
TREES ARE BEING REMOVED ON THIS SITE. NO TREES BEING REMOVED ARE PROTECTED.

FLOOD STATEMENT
ACCORDING TO THE FLOOD INSURANCE MAP (FIRM) MAP NO. 48121C0440G, DATED APRIL 2011, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR DENTON COUNTY, TEXAS, AND FIRM MAP NO. 48052040K, DATED JUNE 2017, PREPARED BY FEMA FOR COLLIN COUNTY, TEXAS, THIS PROPERTY IS WITHIN ZONE X (UNSHADED).

OWNER:
ZARKY DEVELOPMENT LLC
5530 NORTH FORTY PLACE
DALLAS, TEXAS 75251
EMAIL: DRWG@WEINREBVENTURES.COM
CONTACT: DAVID WEINREB

ARCHITECT:
WDG ARCHITECTURE DALLAS, PLLC
2001 BRYAN STREET, SUITE 3100
DALLAS, TEXAS 75201
PHONE: (214) 939-7925
CONTACT: WILL DUNCAN, AIA

ENGINEER / SURVEYOR / APPLICANT/LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC.
2600 NORTH CENTRAL EXPRESSWAY,
SUITE 400, RICHARDSON, TEXAS 75080
PHONE: (972) 770-1360
CONTACT: SHAY GEACH, P.E.

ACTION

APPROVED	DENIED
STAFF	Date
P&Z	Date
Neighborhood #	

See the Staff Approval Letter or P&Z Result Memo for any conditions associated with the approval of the project.

PRELIMINARY SITE PLAN
ZARKY 92 ACRES, BLOCK A, LOTS 1 - 11
CITY PROJECT NO. PSP24-0014
BEING 91.7289 ACRES
CRAIN & WARREN SURVEY, ABST. NO. 229,
DENTON COUNTY
JAMES BOLIN SURVEY, ABST. NO. 31,
CITY OF FRISCO, COLLIN COUNTY, TEXAS
PREPARATION DATE: APRIL 16, 2024

Kimley-Horn

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RICHARDSON, TEXAS 75080
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P.E. No. 127857 Date 04/16/2024

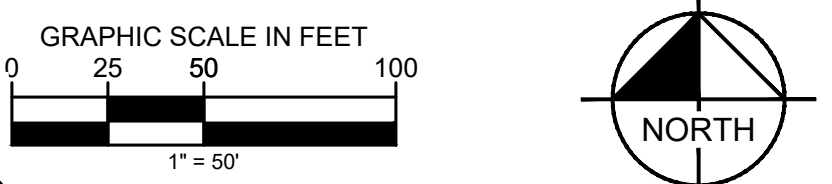
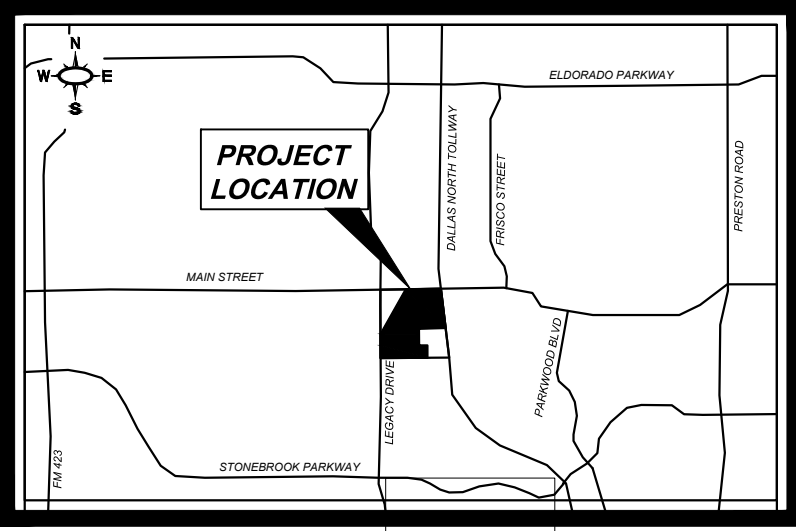
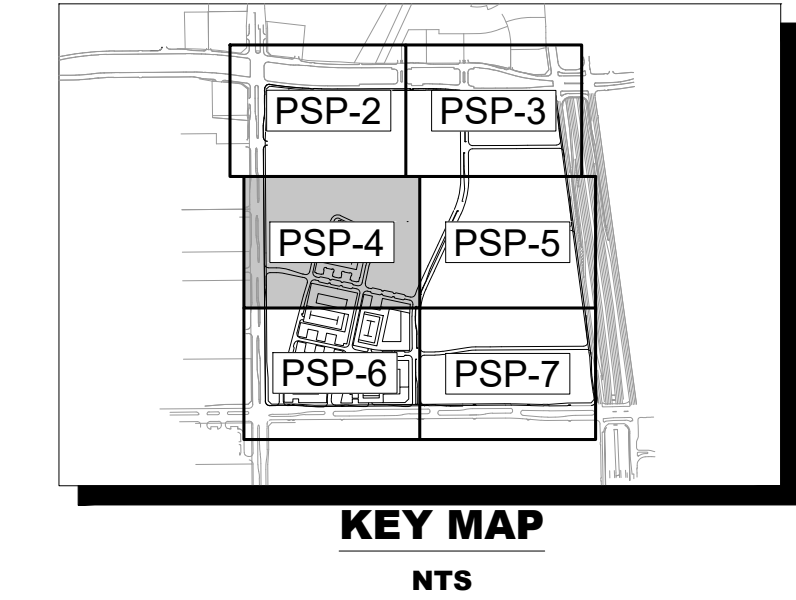
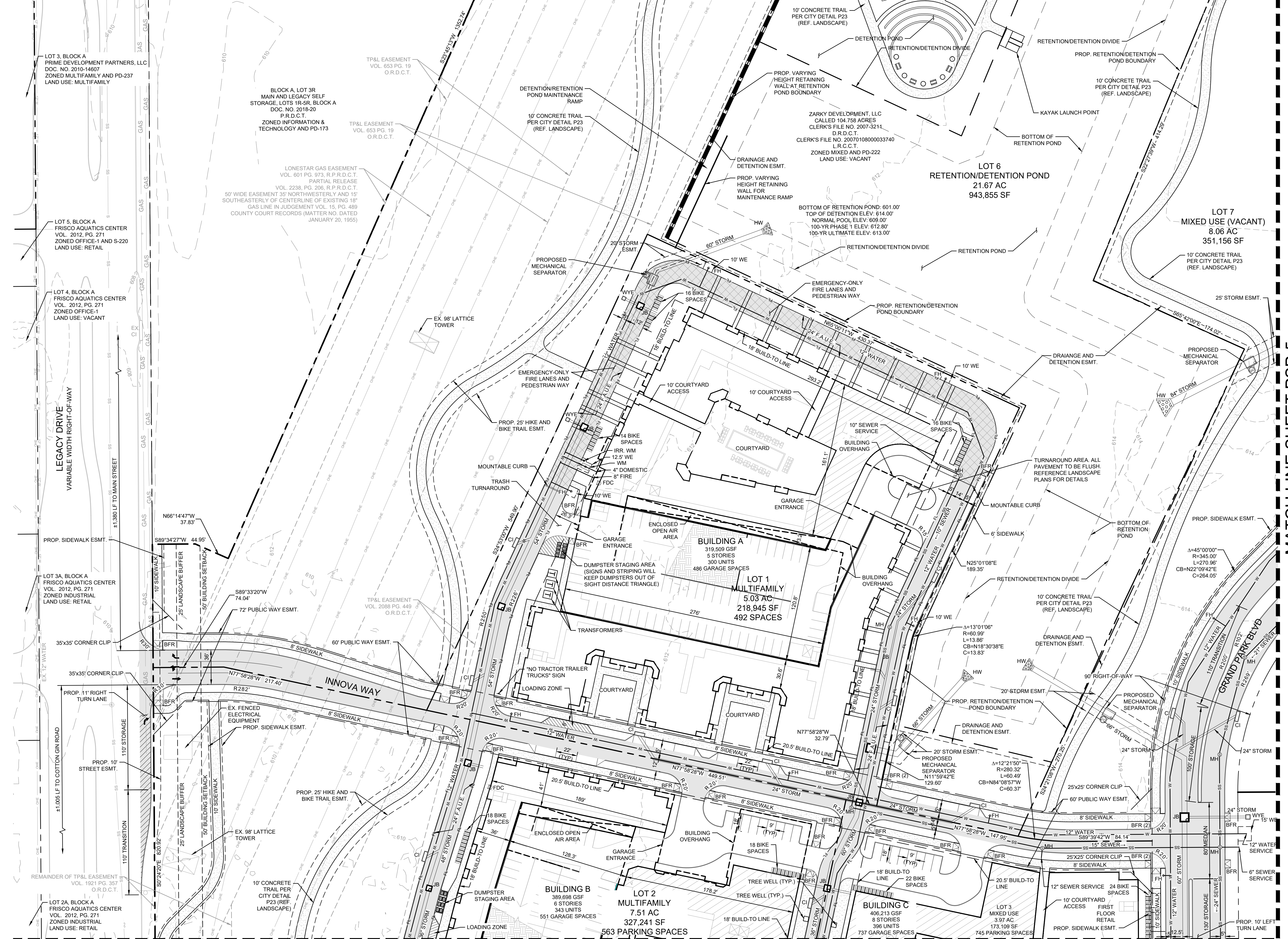
KHA PROJECT	064464202	DATE	04/16/2024	SCALE	AS SHOWN	DESIGNED BY	SMG	DRAWN BY	GSP	CHECKED BY	SEC
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ZARKY 92 ACRES
CITY OF FRISCO
DENTON COUNTY, TEXAS

PRELIMINARY SITE PLAN

SHEET NUMBER
PSP-3

MATCH LINE SHEET PSP-2



LEGEND

---	PROPERTY LINE
---	SETBACK LINE
---	EASEMENT LINE
---	EXISTING CONTOUR
FL	PROPOSED FIRE LANE
SS	PROPOSED SANITARY SEWER LINE
W	PROPOSED WATER LINE
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---	FIRE HYDRANT
---	FIRE DEPARTMENT CONNECTION
---	SANITARY SEWER MANHOLE
---	CURB INLET
---	JUNCTION BOX
---	TRANSFORMER
---	MECHANICAL SEPARATOR
---	PROPOSED F.A.U.E.
---	PROPOSED EMERGENCY-ONLY FIRE LANES AND PEDESTRIAN WAY
---	PROPOSED SIDEWALK

KEY

TYP	TYPICAL
BFR	BARRIER FREE RAMP
FH	FIRE HYDRANT
MH	MANHOLE
WM	WATER METER
DOM	DOMESTIC
CO	CLEAN OUT
GT	GREASE TRAP
WYE	WYE INLET
EX	EXISTING
IRR	IRRIGATION
CI	CURB INLET
JB	JUNCTION BOX
FC	FIRE DEPARTMENT CONNECTION
ESMT	EASEMENT
F.A.U.E.	FIRE LANE, ACCESS, AND UTILITY EASEMENT
WE	WATER EASEMENT

MATCH LINE SHEET PSP-5

MATCH LINE SHEET PSP-6

- NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - ALL RADIUS ARE 2' OR 10' UNLESS NOTED OTHERWISE.
 - HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS.
 - ALL 18-FOOT DEEP PARKING STALLS SHALL PROVIDE A 2-FOOT PARKING OVERHANG OFFSET PER THE ORDINANCE.
 - FIRE LANES SHALL BE PROVIDED IN ACCORDANCE WITH FRISCO REQUIREMENTS AND SHALL HAVE A MIN. INSIDE TURNING RADIUS OF 20'.
 - FIRE HYDRANTS SHALL BE PROVIDED IN ACCORDANCE WITH FRISCO REQUIREMENTS AND WILL BE LOCATED IN A 10x10' WATER EASEMENT.
 - SIDEWALKS AND BFRs SHALL BE PROVIDED WITH FINAL DESIGN.
 - ALL SCREENING WILL BE PROVIDED IN ACCORDANCE WITH FRISCO REQUIREMENTS.
 - STREET EASEMENTS SHALL BE PROVIDED AT ALL DRIVEWAYS PER CITY REQUIREMENTS.
 - ALL 3" METER SERVICES SHALL BE LOCATED IN A CONCRETE VAULT.
 - THE TOTAL REQUIRED OPEN SPACE WAS CALCULATED WITHOUT INCLUDING ANY R.O.W. RESERVATION AREAS TO BE DEDICATED WITH THE CONVEYANCE PLAT.
 - CONCRETE SHALL BE BUILT IN CONFORMANCE WITH EXHIBIT J FROM THE DEVELOPMENT AGREEMENT.
 - ALL CONCRETE HEADWALLS AND WINGWALLS SHALL HAVE A STONE VENER FINISH UNLESS OTHERWISE APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES. CONCRETE CULVERT HEADWALLS AND WINGWALLS SHALL USE NATURAL STONE OR BRICK VENER. THE MATERIAL PALETTE SHALL BE SIMILAR AND COMPLIMENTARY TO MATERIALS USED THROUGHOUT THE DEVELOPMENT AND ARE SUBJECT TO APPROVAL BY THE DIRECTOR OF DEVELOPMENT SERVICES.
 - 22.5' LANDSCAPE EASEMENT DELIVERED PURSUANT TO THE DEVELOPMENT AGREEMENT.

- CITY OF FRISCO NOTES**
- ANY REVISION TO THIS PLAN WILL REQUIRE CITY APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
 - OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 - BUILDINGS WITH AN AGGREGATE SUM OF 5,000 SQUARE FEET OR GREATER ON A LOT SHALL HAVE AUTOMATIC FIRE SPRINKLERS INSTALLED THROUGHOUT ALL STRUCTURES. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
 - ALL SIGNAGE IS SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.
 - ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.
 - WHEN USED, WHEEL STOPS SHALL BE INSTALLED SO THAT ALL SURFACE PARKING SPACES ARE A MINIMUM OF 18 FEET DEEP MEASURED FROM THE FACE OF THE WHEEL STOP. ANY VERTICAL OBSTRUCTION IN FRONT OF A SURFACE PARKING SPACE SHALL BE LOCATED 20 FEET FROM THE BACK OF THE PARKING SPACE.
 - THE THROUGHFARE ALIGNMENT(S) SHOWN ON THIS EXHIBIT ARE FOR ILLUSTRATION PURPOSES AND DOES NOT SET THE ALIGNMENT. THE ALIGNMENT IS DETERMINED AT TIME OF FINAL PLAT.

DETENTION NOTE

ON-SITE DETENTION IS REQUIRED. REFER TO ZARKY DEVELOPMENT DOWNSTREAM ASSESSMENT DATED 12/11/2023 PREPARED BY KIMLEY-HORN AND ASSOCIATES FOR ADDITIONAL INFORMATION.

TREE STATEMENT

TREES ARE BEING REMOVED ON THIS SITE. NO TREES BEING REMOVED ARE PROTECTED.

FLOOD STATEMENT

ACCORDING TO THE FLOOD INSURANCE MAP (FIRM) MAP NO. 48121C0400, DATED APRIL 2011, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR DENTON COUNTY, TEXAS, AND FIRM MAP NO. 48082C0400, DATED JUNE 2017, PREPARED BY FEMA FOR COLLIN COUNTY, TEXAS, THIS PROPERTY IS WITHIN ZONE X (UNSHADED).

OWNER:
ZARKY DEVELOPMENT LLC
5530 NORTH FORTY PLACE
DALLAS, TEXAS 75252
EMAIL: DRWG@WEINREBVENTURES.COM
CONTACT: DAVID WEINREB

ARCHITECT:
WDG ARCHITECTURE DALLAS, PLLC
2001 BRYAN STREET, SUITE 3100
DALLAS, TEXAS 75201
PHONE: (214) 939-7925
CONTACT: WILL DUNCAN, AIA

ENGINEER / SURVEYOR / APPLICANT/LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC.
2600 NORTH CENTRAL EXPRESSWAY,
SUITE 400, RICHARDSON, TEXAS 75080
PHONE: (972) 770-1360
CONTACT: SHAY GEACH, P.E.

PRELIMINARY SITE PLAN

ZARKY 92 ACRES, BLOCK A, LOTS 1 - 11
CITY PROJECT NO. PSP24-0014
BEING 91.7289 ACRES
CRAIN & WARREN SURVEY, ABST. NO. 229,
DENTON COUNTY
JAMES BOLIN SURVEY, ABST. NO. 31,
CITY OF FRISCO, COLLIN COUNTY, TEXAS
PREPARATION DATE: APRIL 16, 2024

ACTION

APPROVED	_____	DATE	_____	INITIALS	_____
P&Z	_____	DATE	_____	INITIALS	_____
Neighborhood #	_____				

See the Staff Approval Letter or P&Z Result Memo for any conditions associated with the approval of the project.

NO.	REVISIONS	DATE

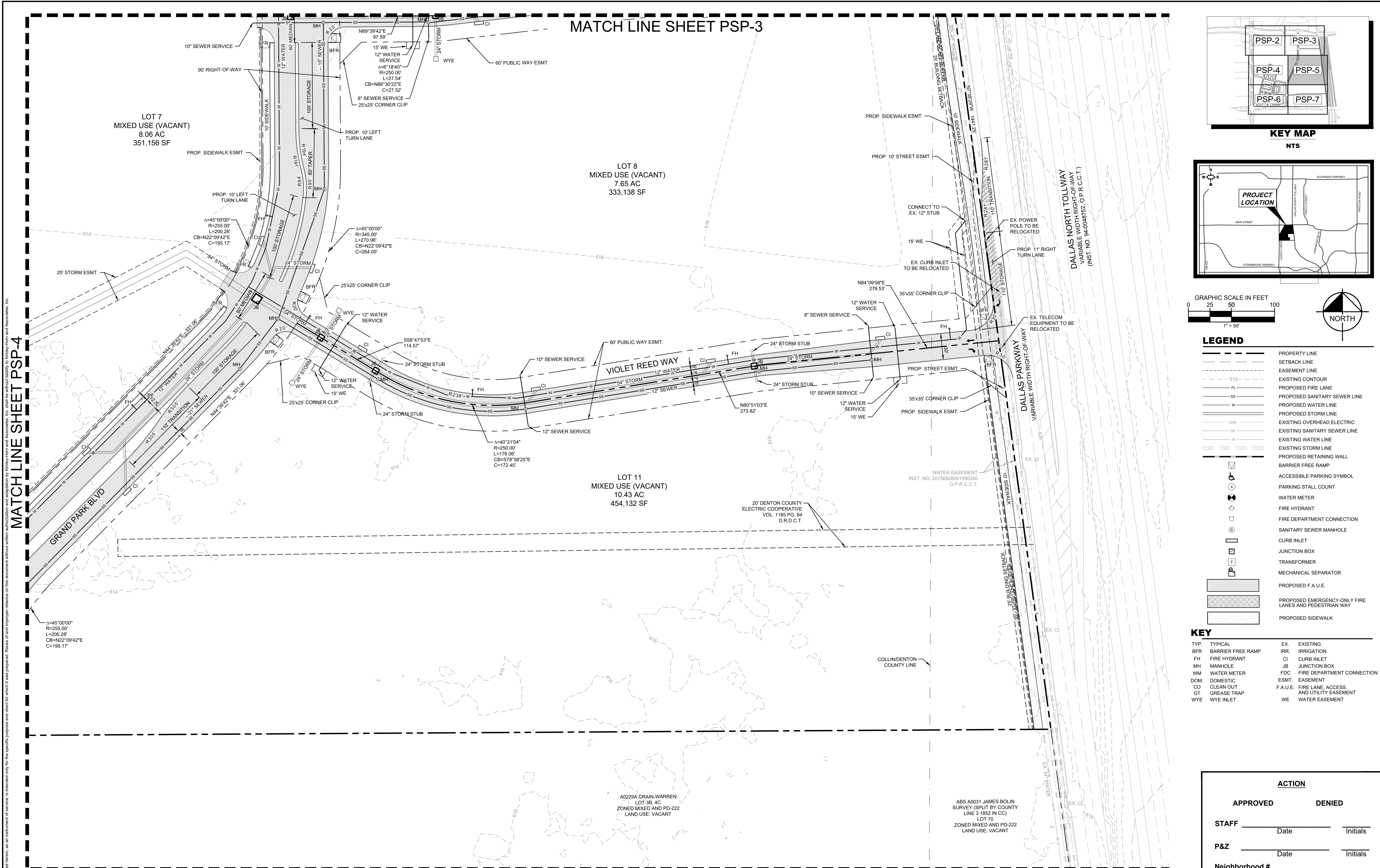
Kimley»Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
2600 NORTH CENTRAL EXPRESSWAY, SUITE 400
RICHARDSON, TEXAS 75080
PHONE: 214-617-0535
WWW.KIMLEY-HORN.COM TX F-928

PRELIMINARY
FOR REVIEW ONLY
Not for construction or permit purposes.
Kimley»Horn
Engineer: SHAY E. GEACH
P.E. No. 127857 Date: 04/16/2024

KHA PROJECT	064464202
DATE	04/16/2024
SCALE	AS SHOWN
DESIGNED BY	SMG
DRAWN BY	GSP
CHECKED BY	SEC

ZARKY 92 ACRES
CITY OF FRISCO
DENTON COUNTY, TEXAS

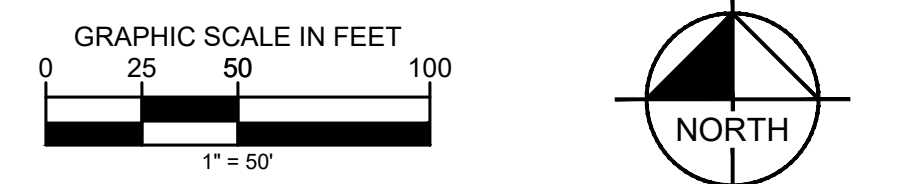
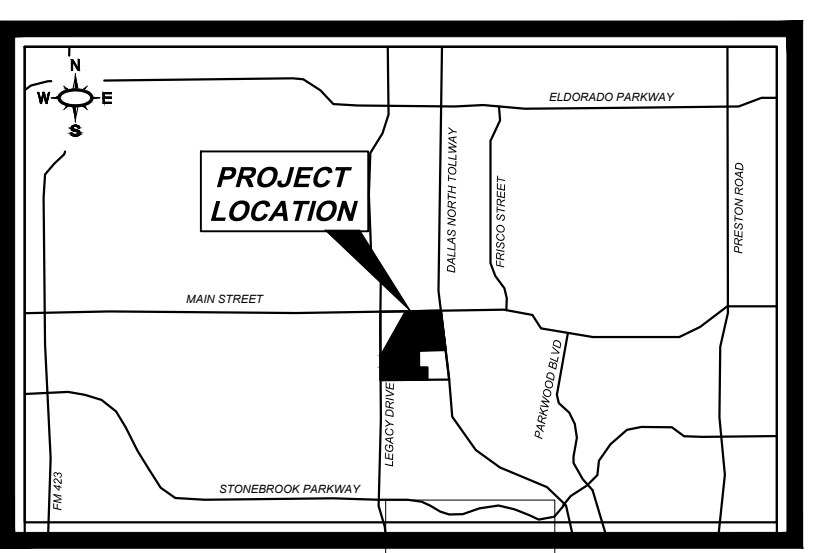
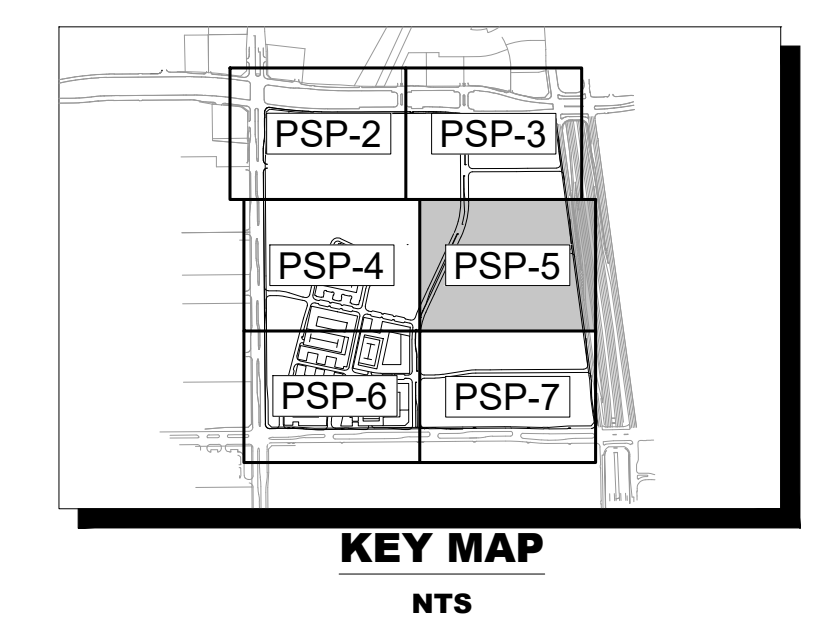
PRELIMINARY SITE PLAN
SHEET NUMBER
PSP-4



MATCH LINE SHEET PSP-4

MATCH LINE SHEET PSP-3

MATCH LINE SHEET PSP-7



LEGEND

---	PROPERTY LINE
- - -	SETBACK LINE
- · - · -	EASEMENT LINE
- · - · -	EXISTING CONTOUR
FL	PROPOSED FIRE LANE
SS	PROPOSED SANITARY SEWER LINE
W	PROPOSED WATER LINE
SS	PROPOSED STORM LINE
OH	EXISTING OVERHEAD ELECTRIC
SS	EXISTING SANITARY SEWER LINE
W	EXISTING WATER LINE
SS	EXISTING STORM LINE
---	PROPOSED RETAINING WALL
---	BARRIER FREE RAMP
---	ACCESSIBLE PARKING SYMBOL
---	PARKING STALL COUNT
---	WATER METER
---	FIRE HYDRANT
---	FIRE DEPARTMENT CONNECTION
---	SANITARY SEWER MANHOLE
---	CURB INLET
---	JUNCTION BOX
---	TRANSFORMER
---	MECHANICAL SEPARATOR
---	PROPOSED F.A.U.E.
---	PROPOSED EMERGENCY-ONLY FIRE LANES AND PEDESTRIAN WAY
---	PROPOSED SIDEWALK

KEY

TYP	TYPICAL	EX	EXISTING
BFR	BARRIER FREE RAMP	IRR	IRRIGATION
FH	FIRE HYDRANT	CI	CURB INLET
MH	MANHOLE	JB	JUNCTION BOX
WM	WATER METER	FDC	FIRE DEPARTMENT CONNECTION
DOM	DOMESTIC	ESMT	EASEMENT
CO	CLEAN OUT	F.A.U.E.	FIRE LANE, ACCESS, AND UTILITY EASEMENT
GT	GREASE TRAP	WE	WATER EASEMENT
WYE	WYE INLET		

ACTION

APPROVED	DENIED	
STAFF	Date	Initials
P&Z	Date	Initials
Neighborhood #		

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TREE STATEMENT
TREES ARE BEING REMOVED ON THIS SITE. NO TREES BEING REMOVED ARE PROTECTED.

FLOOD STATEMENT
ACCORDING TO THE FLOOD INSURANCE MAP (FIRM) MAP NO. 4812C040G, DATED APRIL 2011, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR DENTON COUNTY, TEXAS, AND FIRM MAP NO. 4885C024K, DATED JUNE 2017, PREPARED BY FEMA FOR COLLIN COUNTY, TEXAS, THIS PROPERTY IS WITHIN ZONE X (UNSHADED).

OWNER:
ZARKY DEVELOPMENT LLC
5530 NORTH FORTY PLACE
DALLAS, TEXAS 75252
EMAIL: DRW@WEINREBVENTURES.COM
CONTACT: DAVID WEINREB

ARCHITECT:
WDG ARCHITECTURE DALLAS, PLLC
2001 BRYAN STREET, SUITE 3100
DALLAS, TEXAS 75201
PHONE: (214) 939-7925
CONTACT: WILL DUNCAN, AIA

ENGINEER / SURVEYOR / APPLICANT/LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC.
2600 NORTH CENTRAL EXPRESSWAY,
SUITE 400, RICHARDSON, TEXAS 75080
PHONE: (972) 770-1360
CONTACT: SHAY GEACH, P.E.

PRELIMINARY SITE PLAN
ZARKY 92 ACRES, BLOCK A, LOTS 1 - 11
CITY PROJECT NO. PSP24-0014
BEING 91.7289 ACRES
CRAIN & WARREN SURVEY, ABST. NO. 229,
DENTON COUNTY
JAMES BOLIN SURVEY, ABST. NO. 31,
CITY OF FRISCO, COLLIN COUNTY, TEXAS
PREPARATION DATE: APRIL 16, 2024

Kimley»Horn
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RICHARDSON, TEXAS 75080
PHONE: 214-617-0535
WWW.KIMLEY-HORN.COM TX F-928

PRELIMINARY
FOR REVIEW ONLY
Not for construction or permit purposes.
Kimley»Horn
Engineer: SHAY E. GEACH
P.E. No. 127857 Date: 04/16/2024

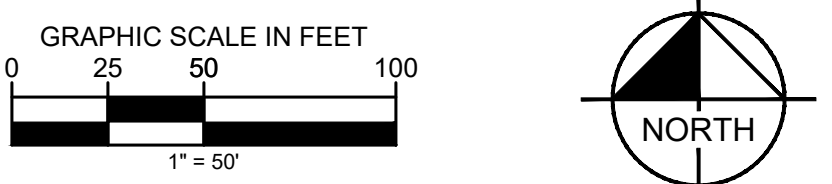
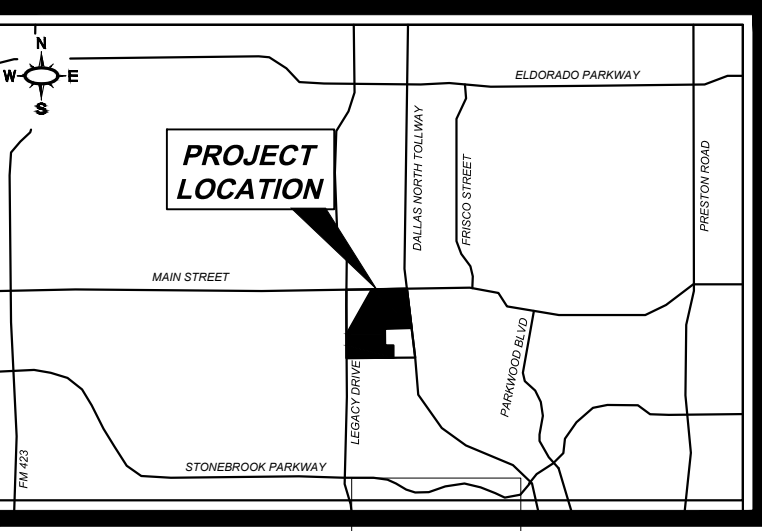
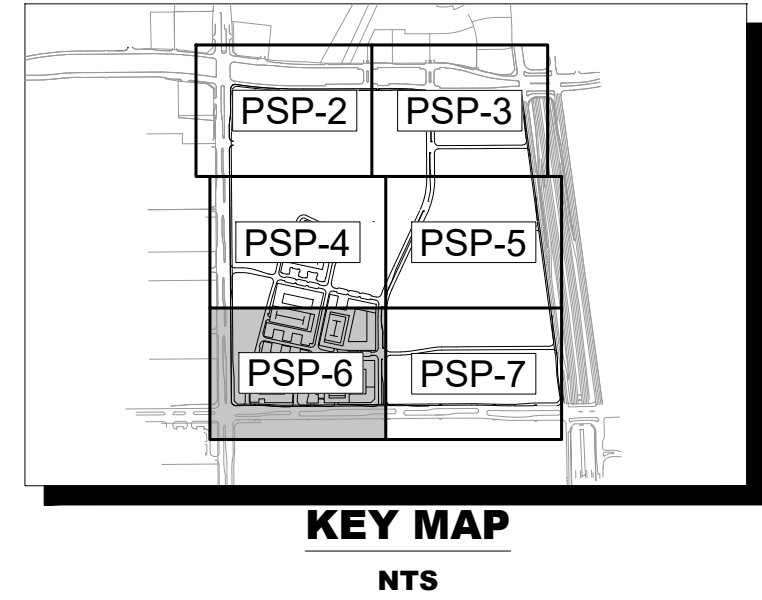
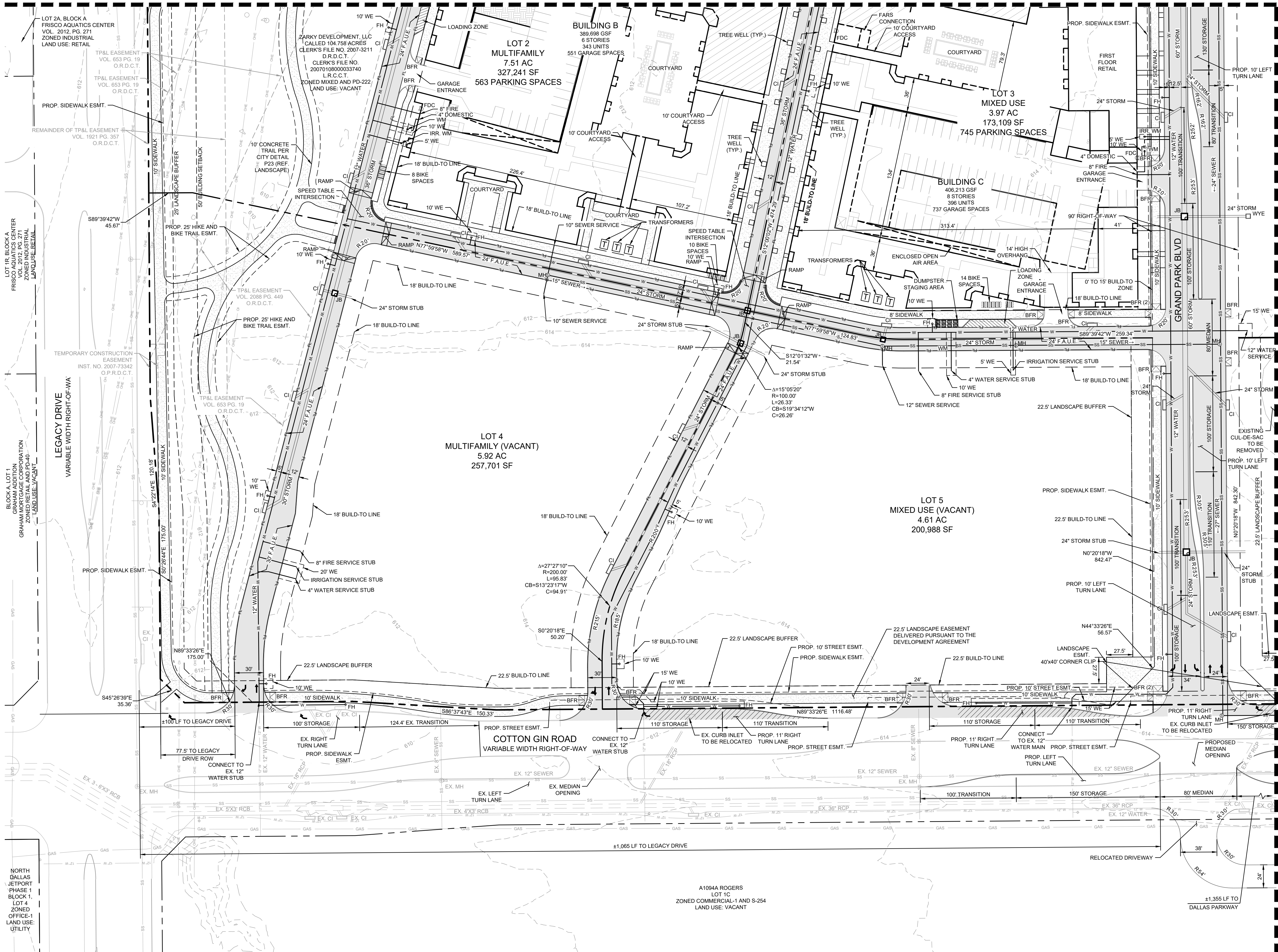
KHA PROJECT	064464202	DATE	04/16/2024	SCALE	AS SHOWN	DESIGNED BY	SMG	DRAWN BY	GSP	CHECKED BY	SEC
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ZARKY 92 ACRES
CITY OF FRISCO
DENTON COUNTY, TEXAS

PRELIMINARY SITE PLAN

SHEET NUMBER
PSP-5

MATCH LINE SHEET PSP-4



LEGEND

---	PROPERTY LINE
---	SETBACK LINE
---	EASEMENT LINE
---	EXISTING CONTOUR
FL	PROPOSED FIRE LANE
SS	PROPOSED SANITARY SEWER LINE
W	PROPOSED WATER LINE
---	PROPOSED STORM LINE
OH	EXISTING OVERHEAD ELECTRIC
SS	EXISTING SANITARY SEWER LINE
W	EXISTING WATER LINE
---	EXISTING STORM LINE
---	PROPOSED RETAINING WALL
---	BARRIER FREE RAMP
---	ACCESSIBLE PARKING SYMBOL
---	PARKING STALL COUNT
---	WATER METER
---	FIRE HYDRANT
---	FIRE DEPARTMENT CONNECTION
---	SANITARY SEWER MANHOLE
---	CURB INLET
---	JUNCTION BOX
---	TRANSFORMER
---	MECHANICAL SEPARATOR
---	PROPOSED F.A.U.E.
---	PROPOSED EMERGENCY-ONLY FIRE LANES AND PEDESTRIAN WAY
---	PROPOSED SIDEWALK

KEY

TYP.	TYPICAL	EX.	EXISTING
BFR	BARRIER FREE RAMP	IRR.	IRRIGATION
FH	FIRE HYDRANT	CI	CURB INLET
MH	MANHOLE	JB	JUNCTION BOX
WM	WATER METER	FDC	FIRE DEPARTMENT CONNECTION
DOM	DOMESTIC	ESMT.	EASEMENT
CO	CLEAN OUT	F.A.U.E.	FIRE LANE, ACCESS, AND UTILITY EASEMENT
GT	GREASE TRAP	WE	WATER EASEMENT
WYE	WYE INLET		

MATCH LINE SHEET PSP-7

CITY OF FRISCO NOTES

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DETENTION NOTE
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TREE STATEMENT
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FLOOD STATEMENT
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PRELIMINARY SITE PLAN
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CITY PROJECT NO. PSP24-0014
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JAMES BOLIN SURVEY, ABST. NO. 31,
CITY OF FRISCO, COLLIN COUNTY, TEXAS

PREPARATION DATE: APRIL 16, 2024

ACTION

APPROVED	DATE	INITIALS
STAFF	_____	_____
P&Z	_____	_____
Neighborhood #	_____	_____

See the Staff Approval Letter or P&Z Result Memo for any conditions associated with the approval of the project.

Kimley»Horn

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
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RICHARDSON, TEXAS 75080
PHONE: 214-617-0535
WWW.KIMLEY-HORN.COM TX F-928

PRELIMINARY

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Engineer: SHAY E. GEACH
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KHA PROJECT	064464202	DATE	04/16/2024	SCALE	AS SHOWN	DESIGNED BY	SMG	DRAWN BY	GSP	CHECKED BY	SEC
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ZARKY 92 ACRES
CITY OF FRISCO
DENTON COUNTY, TEXAS

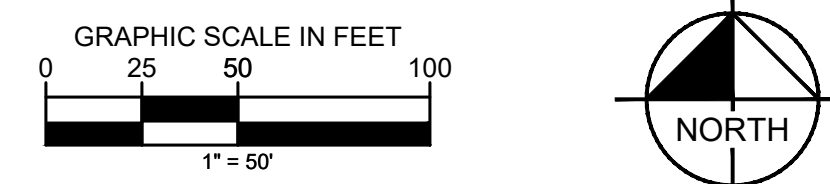
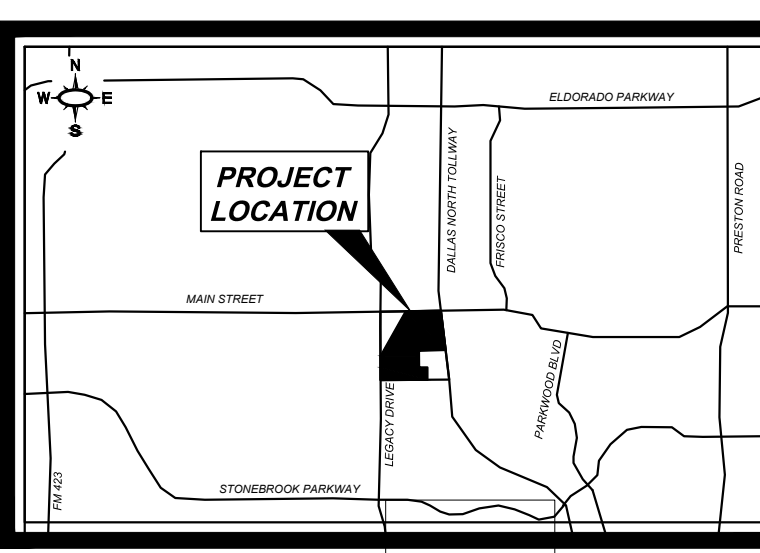
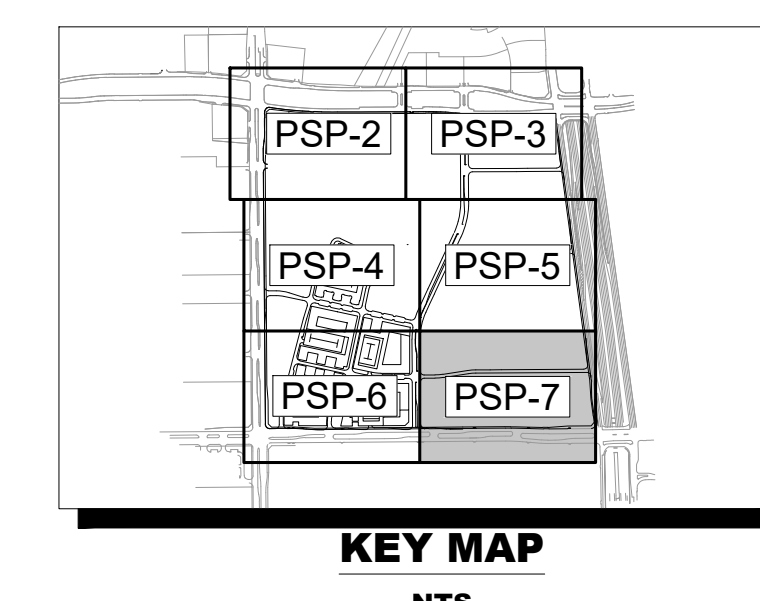
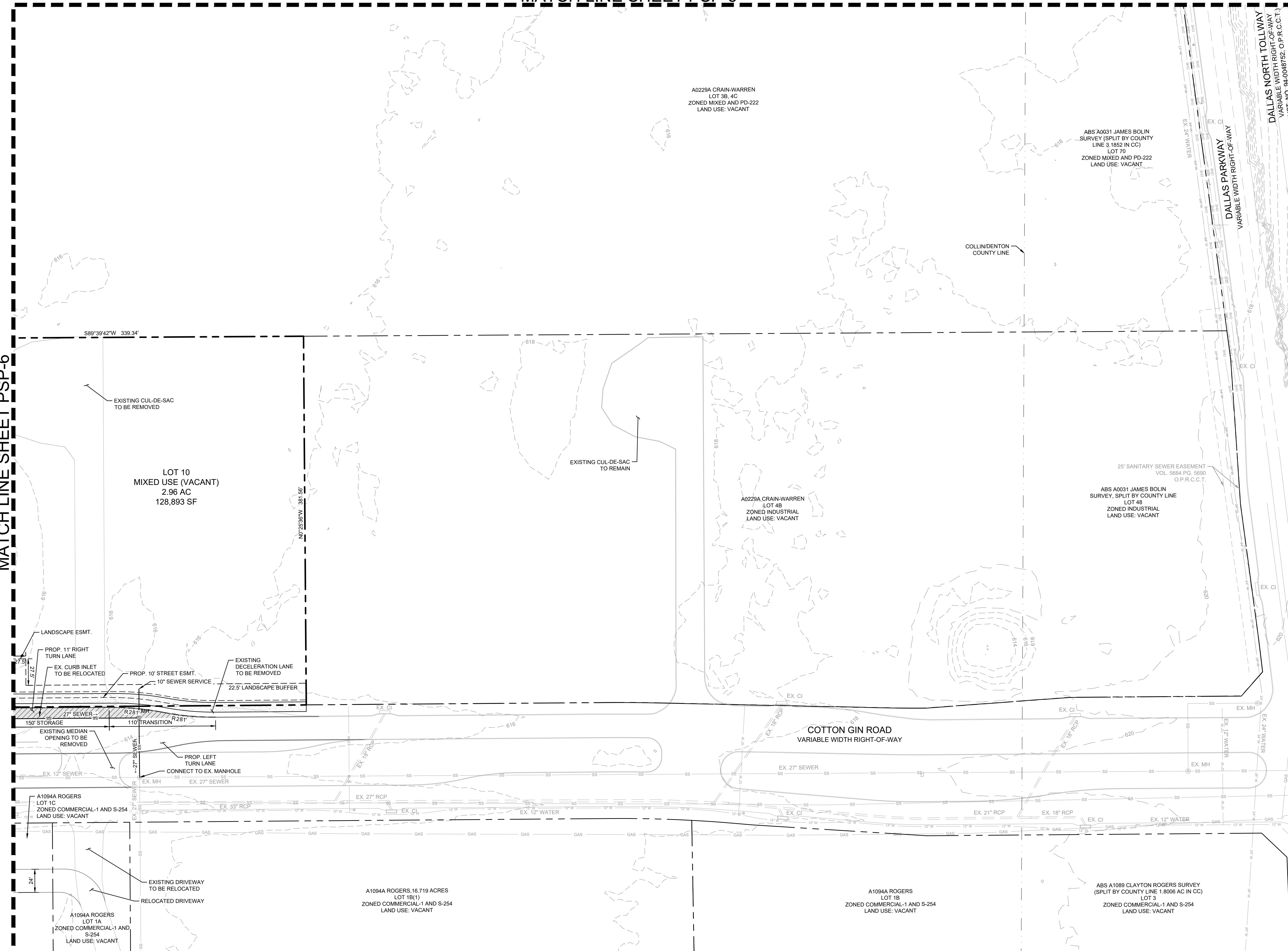
PRELIMINARY SITE PLAN

SHEET NUMBER
PSP-6

MATCH LINE SHEET PSP-5

MATCH LINE SHEET PSP-6

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Review of and reliance on this document without written authorization and indemnification by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND

---	PROPERTY LINE
---	SETBACK LINE
---	EASEMENT LINE
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GT	GREASE TRAP	WE	WATER EASEMENT
WYE	WYE INLET		

ACTION

APPROVED	DENIED
STAFF _____	_____
Date _____	Initials _____
P&Z _____	_____
Date _____	Initials _____
Neighborhood # _____	

See the Staff Approval Letter or P&Z Result Memo for any conditions associated with the approval of the project.

CITY OF FRISCO NOTES

- ANY REVISION TO THIS PLAN WILL REQUIRE CITY APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
- OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- BUILDINGS WITH AN AGGREGATE SUM OF 5,000 SQUARE FEET OR GREATER ON A LOT SHALL HAVE AUTOMATIC FIRE SPRINKLERS INSTALLED THROUGHOUT ALL STRUCTURES. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
- ALL SIGNAGE IS SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.
- ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.
- WHEN USED, WHEEL STOPS SHALL BE INSTALLED SO THAT ALL SURFACE PARKING SPACES ARE A MINIMUM OF 18 FEET DEEP MEASURED FROM THE FACE OF THE WHEEL STOP. ANY VERTICAL OBSTRUCTION IN FRONT OF A SURFACE PARKING SPACE SHALL BE LOCATED 20 FEET FROM THE BACK OF THE PARKING SPACE.
- THE THOROUGHFARE ALIGNMENT(S) SHOWN ON THIS EXHIBIT ARE FOR ILLUSTRATION PURPOSES AND DOES NOT SET THE ALIGNMENT. THE ALIGNMENT IS DETERMINED AT TIME OF FINAL PLAN.

NOTES

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- ALL RADI ARE 2' OR 10' UNLESS NOTED OTHERWISE.
- HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS.
- ALL 18-FOOT DEEP PARKING STALLS SHALL PROVIDE A 2-FOOT PARKING OVERHANG OFFSET PER THE ORDINANCE.
- FIRE LANES SHALL BE PROVIDED IN ACCORDANCE WITH FRISCO REQUIREMENTS AND SHALL HAVE A MIN. INSIDE TURNING RADIUS OF 20'.
- FIRE HYDRANTS SHALL BE PROVIDED IN ACCORDANCE WITH FRISCO REQUIREMENTS AND WILL BE LOCATED IN A 10'x10' WATER EASEMENT.
- SIDEWALKS AND BFRs SHALL BE PROVIDED WITH FINAL DESIGN.
- ALL SCREENING WILL BE PROVIDED IN ACCORDANCE WITH FRISCO REQUIREMENTS.
- STREET EASEMENTS SHALL BE PROVIDED AT ALL DECELERATION LANES PER CITY REQUIREMENTS.
- ALL 3" METER SERVICES SHALL BE LOCATED IN A CONCRETE VAULT.
- THE TOTAL REQUIRED OPEN SPACE WAS CALCULATED WITHOUT INCLUDING ANY R.O.W. RESERVATION AREAS TO BE DEDICATED WITH THE CONVEYANCE PLAT.
- OPEN SPACE TO BE BUILT IN CONFORMANCE WITH EXHIBIT J FROM THE DEVELOPMENT AGREEMENT.
- ALL CONCRETE HEADWALLS AND WINGWALLS SHALL HAVE A STONE VENEER FINISH UNLESS OTHERWISE APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES. CONCRETE CULVERT HEADWALLS AND WINGWALLS SHALL USE NATURAL STONE OR BRICK VENEER. THE MATERIAL PALETTE SHALL BE SIMILAR AND COMPLIMENTARY TO MATERIALS USED THROUGHOUT THE DEVELOPMENT AND ARE SUBJECT TO APPROVAL BY THE DIRECTOR OF DEVELOPMENT SERVICES.
- 22.5' LANDSCAPE EASEMENT DELIVERED PURSUANT TO THE DEVELOPMENT AGREEMENT.

DETENTION NOTE

ON-SITE DETENTION IS REQUIRED. REFER TO ZARKY DEVELOPMENT DOWNSTREAM ASSESSMENT DATED 12/11/2023 PREPARED BY KIMLEY-HORN AND ASSOCIATES FOR ADDITIONAL INFORMATION.

TREE STATEMENT

TREES ARE BEING REMOVED ON THIS SITE. NO TREES BEING REMOVED ARE PROTECTED.

FLOOD STATEMENT

ACCORDING TO THE FLOOD INSURANCE MAP (FIRM) MAP NO. 48121C0440G, DATED APRIL 2011, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR DENTON COUNTY, TEXAS, AND FIRM MAP NO. 48052C040K, DATED JUNE 2017, PREPARED BY FEMA FOR COLLIN COUNTY, TEXAS, THIS PROPERTY IS WITHIN ZONE X (UNSHADED).

OWNER:
ZARKY DEVELOPMENT LLC
5530 NORTH FORTY PLACE
DALLAS, TEXAS 75252
EMAIL: DRWG@WEINREBVENTURES.COM
CONTACT: DAVID WEINREB

ARCHITECT:
WDG ARCHITECTURE DALLAS, PLLC
2001 BRYAN STREET, SUITE 3100
DALLAS, TEXAS 75201
PHONE: (214) 939-7925
CONTACT: WILL DUNCAN, AIA

ENGINEER / SURVEYOR / APPLICANT/LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC.
2600 NORTH CENTRAL EXPRESSWAY,
SUITE 400, RICHARDSON, TEXAS 75080
PHONE: (972) 770-1360
CONTACT: SHAY GEACH, P.E.

PRELIMINARY SITE PLAN
ZARKY 92 ACRES, BLOCK A, LOTS 1 - 11
CITY PROJECT NO. PSP24-0014
BEING 91.7289 ACRES
CRAIN & WARREN SURVEY, ABST. NO. 229,
DENTON COUNTY
JAMES BOLIN SURVEY, ABST. NO. 31,
CITY OF FRISCO, COLLIN COUNTY, TEXAS
PREPARATION DATE: APRIL 16, 2024

Kimley-Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
2600 NORTH CENTRAL EXPRESSWAY, SUITE 400
RICHARDSON, TEXAS 75080
PHONE: 214-617-0535
WWW.KIMLEY-HORN.COM TX F-928

PRELIMINARY
FOR REVIEW ONLY
Not for construction or permit purposes.
Kimley-Horn
Shay E. Geach
P.E. No. 127857 Date 04/16/2024

KHA PROJECT	064464202	DATE	04/16/2024	SCALE	AS SHOWN	DESIGNED BY	SMG	DRAWN BY	GSP	CHECKED BY	SEC
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ZARKY 92 ACRES
CITY OF FRISCO
DENTON COUNTY, TEXAS

PRELIMINARY SITE PLAN

SHEET NUMBER
PSP-7

NO.	REVISIONS	DATE	BY
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