

2.05.04.PRO – Preston Road Overlay Design District

(Ord. No. 17-08-56; 08/15/17) and (Ord. No. 2020-12-84; 12/1/20)

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(B) Boundary

The PRO – Preston Road Overlay Design District includes all property within seven hundred fifty (750) feet of the centerline of Preston Road **including but not limited to those properties along Preston Road and intersecting roadways** (Figure 2.05.04.1: Preston Road Overlay Design District Map (Page XXX)).

(D) General Requirements of the PRO - Preston Road Overlay Design District

(3) PRO Landscaping

a. Maintenance

Property owners are responsible for installing, maintaining, and replacing required landscaping except for landscaping within Punctuation Points (see 2.05.04. (D)(11)d PRO Punctuation Points (Page XXX)).

b. ~~Side and Rear Yards~~ Escrow Fund - Due to street construction, adverse weather, or other constraints as approved by the City, escrow funds may be paid to the City for the required landscaping for street medians and associated labor.

1. ~~In order to meet the planting requirements for landscape buffers or slip roads, planting requirement for side and rear yards (excluding required landscaping adjacent to residential uses) may be reduced by fifty (50) percent.~~

2. ~~If additional landscaping is needed, tree requirements for landscaped parking islands may be reduced by fifty (50) percent.~~

c. ~~Irrigation~~ Tree Grates

~~All landscaping shall be mechanically irrigated.~~ Tree grates shall be used in high pedestrian traffic areas.

d. Tree Guards

1. Tree guards are to be installed in urban streetscape areas where tree grates are not required, as well as other areas deemed necessary through review by City staff.

2. Tree guards shall take the form of a low fence of twelve (12) to fourteen (14) inches in height of ornamental metal defining the edge of the tree wells.

3. Gauge of metal utilized should not be less than three-eighths (3/8) of an inch diameter.

e. Bollards

1. Bollards shall be used to protect trees and pedestrians in any curb-less condition.

2. Bollards shall have a nominal height of twenty-four (24) inches and a nominal diameter of eighteen (18) inches.

3. Bollards shall be native or cast stone, granite, or cast iron.

f. Additional landscape requirements are listed in Subsection 4.02 Landscape Requirements (Page XXX) **and shall comply with Subsection 6.13. Landscape Plan Review** (Page XXX).

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(7) PRO Parking

a. Structured Parking Exterior Materials and Colors

Exterior materials and colors for structured parking shall match or be compatible with the

buildings within the same development.

b. Subterranean parking is permitted.

c. Slip Roads

1. For an illustration and standards see ~~Figure 2.05.04.7: Slip Road Dimensions (Page 71)~~ [Figure 4.02.05. Street Frontage Landscape Areas – Street Type S2 - Slip Road Street Frontage \(Page XXX\)](#).
2. Slip roads introduce opportunities for variety in the streetscape.
3. Slip roads extend the street zone into the parking area, making parking lots more plaza-like and integrated.
4. Slip roads combine parking, uniform tree plantings, enhanced paving, seating areas and access to retail stores, making these spaces lively and pedestrian friendly.
5. Where required, slip roads shall be designed in accordance with ~~Figure 2.05.04.7: Slip Road Dimensions (Page 711) and as follows:~~ [Figure 4.02.05. Street Frontage Landscape Areas – Street Type S2 - Slip Road Street Frontage \(Page XXX\)](#).
 - (i) ~~The first row of parking shall be located eight (8) feet from the property line. The minimum depth of each parking space within the first row of parking is eighteen (18) feet. The width of the adjacent driveway and/or fire lane shall be twenty four (24) feet. A second row of parking shall be provided on the opposite side of the driveway and/or fire lane. These parking spaces shall be twenty (20) feet deep, or eighteen (18) feet deep when adjacent to landscaping or a sidewalk with a minimum width of six (6) feet to accommodate a two (2) foot parking overhang. The second row of parking is optional, but the trees required for this area shall be planted regardless of the existence or non-existence of parking.~~
 - (ii) ~~Within each row of parking, a landscape island with dimensions equal to the adjacent parking spaces shall be constructed after every third parking space. A minimum three (3) inch caliper large tree shall be planted on each landscape island.~~
 - (iii) ~~A row of minimum three (3) inch caliper large trees shall be planted on the property two (2) feet from the front property line nominally thirty six (36) feet on-center. These trees shall align with minimum three (3) inch caliper trees planted on each landscape island located within the slip road. These trees will be centered on each landscape island and located seventeen (17) feet and sixty (60) feet from the front property line.~~
 - (iv) ~~The trees planted sixteen (16) feet from the back of the street curb shall align with the trees planted both thirty (30) feet and seventy two (72) feet from the back of the street curb.~~
 - (v) ~~The drive lane and parking areas of the slip road shall be defined with enhanced paving such as brick, stone or scored concrete.~~
 - (vi) ~~Slip road parking shall be screened from Preston Road with a low row of shrubs. Shrubs shall be minimum five (5) gallon shrubs planted three (3) feet on center.~~
 - (vii) ~~With the exception of the Rural Corridor sub-district, the area between the slip road and the property line may be improved with enhanced paving, rather than landscaping.~~
 - (viii) ~~Slip roads shall be interrupted by building placement or other means prior to intersection with a street that intersects with Preston Road.~~

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(E) Preston Road Overlay Sub-District Requirements

(1) "U.S. 380 Gateway" Sub-District

a. Setbacks

1. The minimum front yard is fifty (50) feet ~~and shall include a fifth (50) foot landscape buffer.~~
~~(i) No parking or drive aisles may occur in the landscape buffer.~~
2. Buildings containing a nonresidential use may be located five (5) feet from the right-of-way of street, other than major thoroughfare, intersecting with Preston Road.
 - (i) Seventy-five (75) percent of the building shall be constructed on the five (5) foot building line, with the additional twenty-five (25) percent setback a maximum of ten (10) feet. ~~(See Figure 2.05.04.17 (Page Error! Bookmark not defined.))~~ See 4.02.05. Street Frontage Landscape Areas – Street Type S2 - Slip Road Street Frontage (Page XXX).
 - (ii) Buildings not utilizing the five (5) foot reduced setback shall be setback as stated in 2.05.04. (E)(1)a.1. (Page XXX)
3. Alternative setbacks may be approved by Subsection 6.18 Alternative Compliance Standards (Page Error! Bookmark not defined.).

b. Landscaping

- ~~1. Slip Roads~~ Street Frontage shall include a fifty (50) foot landscape buffer. See Figure 4.02.05. Street Frontage Landscape Areas – Street Type S3 - Double Row Street Frontage (Page XXX).
~~i. Landscaping shall be planted in accordance with the slip road detail shown in Figure 2.05.04.7 (Page 71).~~
- ~~2. Landscape Buffer~~
 - ~~(i) Two (2) rows of minimum three (3) inch caliper large trees shall be planted nominally thirty (30) feet on center in the landscape buffer.~~
 - ~~(ii) The first row of trees shall be located ten (10) feet from the front property line.~~
 - ~~(iii) The second row of trees shall be located forty (40) feet from the property line.~~

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(2) "Rural Corridor" Sub-District

a. Setbacks

1. The minimum front yard is fifty (50) feet ~~and shall include a fifty (50) foot landscape buffer.~~
2. ~~No parking or drive aisles may occur in the landscape buffer.~~
3. ~~The landscape buffer is also required for future single-family developments along Preston Road, but shall be provided a right-of-way for landscaping purposes.~~

b. Landscaping

- ~~1. Slip Roads~~ Street Frontage shall include a fifty (50) foot landscape buffer. See Figure 4.02.05. Street Frontage Landscape Areas – Street Type S3 - Double Row Street Frontage (Page XXX).
~~(i) Landscaping shall be planted in accordance with the slip road detail shown in Figure 2.05.04.7 (Page 71).~~
- ~~2. Landscape Buffer~~ Single-family developments along Preston Road shall provide a fifty (50) foot landscape buffer with an eight (8) foot solid masonry screening wall with an aligned double row of three-inch caliper shade trees planted 30 feet on center.
 - ~~(i) Two (2) rows of minimum three (3) inch caliper large trees shall be planted nominally thirty (30) feet on center in the landscape buffer.~~

- ~~(ii) The first row of trees shall be located ten (10) feet from the property line.~~
- ~~(iii) The second row of trees shall be located forty (40) feet from the front property line.~~

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(3) "Main Street" Sub-District

a. Setbacks

1. Slip roads are required adjacent to Preston Road. ~~with buildings placed accordingly (See 2.05.04.(D)(7)c Slip Roads (Page 59) and Figure 2.05.04.7 (Page 71)).~~ See Figure 4.02.05. Street Frontage Landscape Areas – Street Type S2 - Slip Road Street Frontage (Page XXX).
2. ~~Where development constraints prevent the use of slip road, the minimum front yard is thirty (30) feet and shall include a thirty (30) foot landscape buffer.~~ Buildings containing a nonresidential use may be located five (5) feet from the right-of-way of street, other than a major thoroughfare, intersecting with Preston Road.
 - (i) ~~No parking or drive aisles may occur in the landscape buffer.~~ Seventy-five (75) percent of the building shall be constructed on the five (5) foot building line, with the additional twenty-five (25) percent setback a maximum of ten (10) feet. ~~(See Figure 2.05.04.17 (Page XXX))~~ See Figure 4.02.05. Street Frontage Landscape Areas – Street Type S2 - Slip Road Street Frontage (Page XXX).
 - (ii) Buildings not utilizing the five (5) foot reduced setback shall setback as stated in 2.05.04. (E)(3)a.2 (Page XXX)

b. Landscaping

1. Slip Roads

- (i) Landscaping shall be planted in accordance with the slip road detail shown in Figure 2.05.04.7 (Page XXX). Figure 4.02.05. Street Frontage Landscape Areas – Street Type S2 - Slip Road Street Frontage (Page XXX).

2. Landscape Buffer

- (i) Where development constraints prevent the use of a slip road, ~~a single row of minimum three (3) inch caliper large trees shall be planted nominally thirty (30) feet on center in the landscape buffer~~ the development must comply with Figure 4.02.05. Street Frontage Landscape Areas – Street Type S4 – Single Row Street Frontage (Page XXX).

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(4) "Retail Corridor" Sub-District

a. Setbacks

1. Slip roads are required adjacent to Preston Road ~~with buildings placed accordingly (See 2.05.04.(D)(7)c Slip Roads (Page 59) and Figure 2.05.04.7 (Page 71)).~~ See Figure 4.02.05. Street Frontage Landscape Areas -Street Type S2 - Slip Road Street Frontage (Page XXX).
2. ~~Where development constraints prevent the use of slip road, the minimum front yard is fifty (50) feet and shall include a thirty (30) foot landscape buffer.~~
 - ~~(i) No parking or drive aisles may occur in the landscape buffer.~~
3. The minimum front yard may be reduced to thirty (30) feet, but the building must be constructed on the thirty (30) foot building line and no parking or drive aisles may occur between the building and adjacent street.
4. Buildings containing a nonresidential use may be located five (5) feet from the right-of-way of street, other than a major thoroughfare, intersecting with Preston Road.

- (i) Seventy-five (75) percent of the building shall be constructed on the five (5) foot building line, with the additional twenty-five (25) percent setback a maximum of ten (10) feet. ~~(See Figure 2.05.04.17 (Page XXX)).~~ See [Figure 4.02.05. Street Frontage Landscape Areas - S2 - Slip Road Street Frontage \(Page XXX\)](#).
- 5. Buildings not utilizing the reduced thirty (30) foot or five (5) foot setback shall setback as stated in [2.05.04. \(E\)\(4\)a.2 \(Page 65\)](#).
- b. Landscaping
 - 1. Slip Roads
 - (i) Landscaping shall be planted in accordance with the slip road detail shown in [Figure 2.05.04.7 \(Page XXX\)](#) [Figure 4.02.05. Street Frontage Landscape Areas – Street Type S2 - Slip Road Street Frontage \(Page XXX\)](#).
 - 2. Landscape Buffer
 - (i) Where development constraints prevent the use of a slip road, ~~two (2) rows of minimum three (3) inch caliper large trees shall be planted nominally thirty (30) feet on center in the landscape buffer.~~ the development must [comply with Figure 4.02.05. Street Frontage Landscape Areas – Street Type S4 - Single Row Street Frontage \(Page XXX\)](#).
 - ~~(ii) The first row of trees shall be located four (4) feet from the property line.~~
 - ~~(iii) The second row of trees shall be located twenty six (26) feet from the front property line.~~

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(5) “S.H. 121 Gateway” Sub-District

- a. Setbacks
 - 1. The minimum front yard is fifty (50) feet ~~and shall include a thirty (30) foot landscape buffer.~~
 - ~~(i) No parking or drive aisles may occur in the landscape buffer.~~
 - 2. ~~The minimum front yard may be reduced to thirty (30) feet, but the building must be constructed on the thirty (30) foot building line and no parking or drive aisles may occur between the building and adjacent street.~~ Buildings containing a nonresidential use may be located five (5) feet from the right-of-way of street, other than a major thoroughfare, intersecting with Preston Road.
 - (i) Seventy-five (75) percent of the building shall be constructed on the five (5) foot building line, with the additional twenty-five (25) percent setback a maximum of ten (10) feet. ~~(See Figure 2.05.04.17 (Page XXX)).~~ See [Figure 4.02.05. Street Frontage Landscape Areas – Street Type S2 - Slip Road Street Frontage \(Page XXX\)](#).
 - ~~3. Buildings not utilizing the reduced thirty (30) foot or five (5) foot setback shall setback as stated in [2.05.04.\(E\)\(5\)a.1 \(Page 66\)](#).~~
- b. Landscaping
 - ~~1. Landscape Buffer~~ [Street Frontage shall include a landscape buffer according to Figure 4.02.05. Street Frontage Landscape Areas - Street Type S3 – Double Row Street Frontage \(Page XXX\)](#).
 - ~~(i) Two (2) rows of minimum three (3) inch caliper large trees shall be planted nominally thirty (30) feet on center in the landscape buffer.~~
 - ~~(ii) The first row of trees shall be located four (4) feet from the front property line.~~
 - ~~(ii) The second row of trees shall be located twenty six (26) feet from the front property line.~~

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2.05.05. TO – Tollway Overlay Design District

(Ord. No. 17-08-56; 08/15/17)

(G) Tollway Overlay Sub-District Requirements

(1) U.S. 380 Gateway

a. Setbacks [and Landscape Buffer](#)

1. The minimum front yard is fifty (50) feet ~~and shall include~~ and includes a thirty (30) foot landscape buffer. [See Figure 4.02.05. Street Frontage Landscape Areas – Street Type S4 - Single Row Street Frontage \(Page XXX\).](#)
2. ~~No parking or drive aisles may occur in the landscape buffer.~~
3. The minimum front yard for buildings of six (6) or more stories may be reduced to twenty-five (25) feet with a twenty-five (25) foot landscape buffer.

(2) S.H. 121 Gateway

a. Setbacks [and Landscape Buffer](#)

1. The minimum front yard is fifty (50) ~~and shall include~~ and includes a thirty (30) foot landscape buffer [See Figure 4.02.05. Street Frontage Landscape Areas – Street Type S4 - Single Row Street Frontage \(Page XXX\).](#)
2. ~~No parking or drive aisles may occur in the landscape buffer.~~
3. The minimum front yard for buildings of six (6) or more stories may be reduced to twenty-five (25) feet with a twenty-five (25) foot landscape buffer.

(3) Historic Sub-District

a. Setbacks

Setbacks in the Historic sub-district shall meet the requirements of the OTC – Original Town Commercial District (see 2.04.04. (C) Regulations (Page 43)).

(4) Typical Sub-District

a. Setbacks [and Landscape Buffer](#)

The minimum front yard is fifty (50) feet and includes a thirty (30) foot landscape buffer. [See Figure 4.02.05. Street Frontage Landscape Areas – Street Type S4 - Single Row Street Frontage \(Page XXX\).](#) ~~No parking or drive aisles may occur in the landscape buffer.~~

3.02.01. Conditional Development Standards

(12) Bus Terminal

- a. Permitted by right in the H – Highway District.
- b. Permitted by Specific Use Permit in the C-1 – Commercial-1 District, C-2 – Commercial-2 District, and I – Industrial District.
- c. Bus parking and storage areas shall be screened **with one of the following** ~~with a six (6) foot ornamental metal fence, three (3) inch caliper evergreen trees on twenty (20) foot centers, and five (5) gallon evergreen shrubs on three (3) foot centers.~~
 1. Option 1: Provide a Type B4 (or equivalent Buffer as approved by the Director). (For Screening Buffer see Figure 4.03.03. Site Screening Type B4 – Screening Wall with View Fence (Page XXX).
 2. Option 2: Provide a Type B1 (or equivalent Buffer as approved by the Director). (For Screening Buffer see Figure 4.03.03. Site Screening Type B1 – Screening Wall (Page XXX).

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(17) Convenience Store with Gas Pumps

(Ord. No. 11-08-27; 08/01/2011)

Convenience Stores with Gas Pumps shall be subject to the following development standards:

- a. Gas pumps are permitted by right at a maximum of two (2) corners at an intersection of two (2) major thoroughfares. Within the TO - Tollway Overlay District, if two gas pumps are currently located at two corners at an intersection of two (2) major thoroughfares, then a convenience store with gas pumps may be located at a third corner of said intersection along the Dallas North Tollway upon approval of a Specific Use Permit.
- b. Gas pumps shall be located at least two hundred and fifty (250) feet from a property line of a residential lot.
 1. For the purposes of this section, a residential lot means a lot on which a residential use is located, a lot zoned residential, or a lot designated as residential on the Comprehensive Land Use Plan.
 2. This provision intends to alter 4.017.12. (A) Structures in Conjunction with any Automotive Use (Page XXX) as it would apply to gas pumps.
 3. Gas pumps do not have to meet the spacing requirement if:
 - (i) A major thoroughfare separates the accessory gas pumps from the residential lot; or
 - (ii) The Future Land Use Plan designates a lot as residential, but City Council subsequently rezones the property to a nonresidential zoning district and no residential use is located on the lot.
- c. Roofs of convenience stores and pump canopies shall be pitched. Within the TO - Tollway Overlay District, the requirement for a pitched roof on the canopy or convenience store shall be determined during preliminary site plan or site plan review depending on the existing or planned architectural style of adjacent development.
- d. Within the TO – Tollway Overlay District, a maximum of ten (10) pump islands shall be permitted. This restriction shall not limit the number of fuel dispensers per pump island.
- e. The maximum length of the canopy shall not exceed one hundred sixty (160) feet.

- f. Within the TO – Tollway Overlay District, the clearance height of the canopy, measured from the finished grade to the lowest point on the canopy fascia, shall not exceed fourteen (14) feet. The maximum clearance height of the canopy may be increased to sixteen (16) feet where grade changes under the canopy necessitate the increase in height.
- g. Within the TO – Tollway Overlay District, the color of the various components of the pump islands, including dispensers, bollards and all appurtenances shall be consistent with the color of the main structure within the TO - Tollway Overlay District.
- h. Within the TO – Tollway Overlay District, a three (3) foot water course shall be provided on the base of the main building and the columns of the canopy. During preliminary site plan or site plan review, alternate designs may be considered by the Planning & Zoning Commission.
- i. Canopy support columns shall be fully encased with masonry materials that are complementary to that used on the main building.
- j. The canopy band face shall be of a color consistent with the main structure or an accent color and may not be backlit or used as signage.
- k. Convenience stores with gas pumps shall be prohibited in a vertical mixed-use development except where permitted along S.H. 121, U.S. 380, FM 423, and the Dallas North Tollway.
- l. ~~Special landscaping is required from the curb cut on Preston Road to the curb cut on the intersecting street. The landscaping shall include the following.~~ Within the PRO – Preston Road Overlay Design District and TO- Tollway Overlay Design District a landscape buffer is required according to the following:
 - 1. ~~A thirty (30) foot landscaping buffer shall be provided adjacent to the right-of-way rather than a slip road.~~ A thirty (30) foot landscape buffer shall be provided adjacent to the right-of-way rather than a slip road according to Figure 4.02.05. Street Frontage Landscape Areas -Street Type S3 - Double Row Street Frontage (Page XXX)
 - 2. ~~A double row of minimum three (3) inch caliper trees shall be planted nominally twenty five (25) feet on center along the frontage of both streets.~~
 - ~~(i) The first row of trees shall be planted sixteen (16) feet from the back of the street curb.~~
 - ~~(ii) The second row of trees shall be planted thirty (30) feet from the back of the curb.~~
 - 3. ~~Shrubs and annual plants shall be planted and maintained adjacent to Preston Road and the intersecting street.~~
- m. Within the TO – Tollway Overlay District, convenience stores with gas pumps shall be permitted by right within the Historic, Typical, and U.S. 380 Gateway Sub-Districts.
- n. Within the TO – Tollway Overlay District U.S. 380 Gateway Sub-District, the following additional landscape element is required.
 - 1. A fifty (50) foot ~~front~~ landscape ~~edge~~ buffer according to Figure 4.02.05. Street Frontage Landscape Areas – Street Type S3 - Double Row Street Frontage (Page XXX).
 - ~~(i) Twenty (20) feet of this landscape edge may be counted toward the seven (7) percent open space requirement.~~
 - 2. ~~The front landscape edge tree requirement is increased by fifty (50) percent.~~

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(22) Gas Pumps as Accessory Use

Accessory gas pumps are only allowed as an accessory use to a big box tenant and are subject to the following development standards.

- a. Accessory gas pumps must be located on the same lot as a big box tenant.
- b. Gas Pumps are permitted at a maximum of two corners at an intersection of two major thoroughfares.
- c. A sales kiosk servicing the accessory gas pumps shall be less than five hundred (500) square-feet in floor area.
- d. Accessory gas pumps shall be located at least two hundred and fifty (250) feet from a property line of a residential lot.
 1. For the purposes of this section, a residential lot means a lot on which a residential use is located, a lot zoned residential, or a lot designated as residential on the Comprehensive Land Use Plan.
 2. This provision intends to alter 4.07.12. (A) Structures in Conjunction with any Automotive Use (Page ~~XXX~~) as it would apply to accessory gas pumps.
 3. Accessory gas pumps do not have to meet the spacing requirement if:
 - (i) A major thoroughfare separates the accessory gas pumps from the residential lot; or
 - (ii) The Future Land Use Plan designates a lot as residential, but City Council subsequently rezones the property to a nonresidential zoning district and no residential use is located on the lot.
- e. Canopies shall have pitched roofs.
- f. Canopy support columns shall be fully encased with masonry materials that are complementary to that used on the main building.
- g. The canopy band face shall be of a color consistent with the main structure or an accent color and may not be backlit or used as signage.
- h. ~~Special landscaping is required from the curb cut on Preston Road to the curb cut on the intersecting street. The landscaping shall include the following.~~ Within the PRO – Preston Road Overlay District and TO- Tollway Overlay Design District a landscape buffer is required according to the following:
 1. ~~A thirty (30) foot landscape edge shall be provided adjacent to the right of way rather than a slip road. A thirty (30) foot landscape buffer shall be provided adjacent to the right-of-way rather than a slip road according to Figure 4.02.05. Street Frontage Landscape Areas – Street Type S3 - Double Row Street Frontage (Page XXX).~~
 2. ~~A double row of minimum three (3) inch caliper large trees shall be planted nominally twenty five (25) feet on center along the frontage of both streets.~~
 - ~~(i) The first row of trees shall be planted sixteen (16) feet from the back of the street curb.~~
 - ~~(ii) The second row of trees shall be planted thirty (30) feet from the back of the curb.~~
 3. Shrubs and annual and perennial plants shall be planted and maintained adjacent to Preston Road and the intersecting street.
- i. Within the TO – Tollway Overlay District gas pumps shall be permitted by right within the Historic, Typical, and U.S. 380 Gateway Sub-Districts.
- j. ~~Within the TO – Tollway Overlay District U.S. 380 Gateway Sub-District, the following additional landscape elements are required.~~
 1. ~~A fifty (50) foot front landscape edge.~~

- 2. ~~A three (3) foot earthen berm located within the front landscape edge.~~
- 3. ~~The front landscape edge tree requirement is increased by fifty (50) percent.~~

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(30) Nursery, Major

Permitted by Specific Use Permit in an AG – Agricultural District if designated as nonresidential on the Future Land Use Plan. Major nurseries may be permitted by City Council approval of a Specific Use Permit in the Retail Corridor subdistrict of the PRO – Preston Road Overlay District, south of Wade Boulevard with the following conditions, including but not limited to the following.



Figure 3.02.01.1 Infill Development

- a. Major nurseries must be located beyond one thousand (1,000) feet of a major intersection.
- b. Only allowed as infill development with directly adjacent properties already developed. See [Figure 3.02.01.1 Infill Development](#).
- c. All landscape inventory must be screened from Preston Road with an eight (8) foot masonry screening wall and plant material or a combination four (4) foot masonry wall with an Ornamental Fence . (Page XXX) and plant material. [See Figure 4.03.03. Site Screening Type B4 – Screening Wall with View Fence \(Page XXX\)](#).

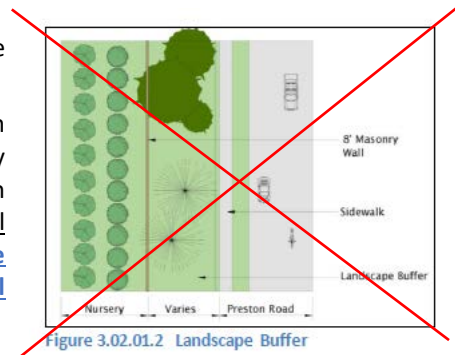


Figure 3.02.01.2 Landscape Buffer

- d. ~~and Figure 3.02.01.3 Landscape Buffer.~~
- e. Landscape inventory must be screened from adjacent properties with an eight (8) foot Ornamental Fence (Page XXX) with a living screen. [See Figure 4.03.03. Site Screening Type B2 – Living Screen. \(Page XXX\)](#).
- f. Non-plant inventory (i.e., hardscape packages, and supplies) shall not extend above the height of the screening fence/wall. Only live plant materials, trees, and shrubs may extend above the screening wall/fence.
- g. All structures and greenhouses must comply with the exterior material requirements of the PRO – Preston Road Overlay District.

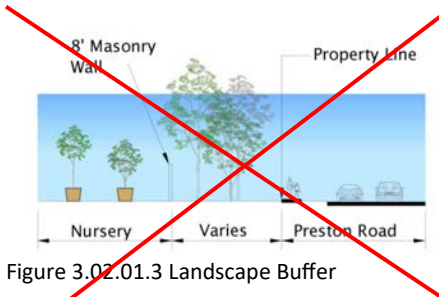


Figure 3.02.01.3 Landscape Buffer

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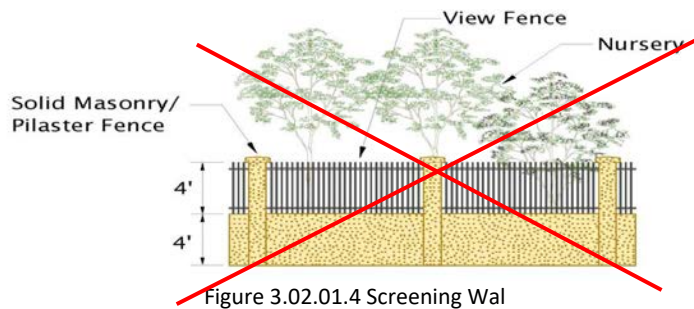


Figure 3.02.01.4 Screening Wal

Subsection 4.01. Tree Preservation Requirements

4.01.01. Purpose

~~The terms and provisions of the Subsection 4.01 Tree Preservation Requirements are intended to accomplish the following public purposes:~~

- ~~(A) To encourage preservation of shade and ornamental trees through incentives and penalties;~~
- ~~(B) To define reasonable protective measures required to preserve the Protected Tree (See **Tree, Protected** (Page 337)) population;~~
- ~~(C) To increase the number of Protected Trees and the projected residual life span of Protected Trees;~~
- ~~(D) To improve the quality of life and comfort of both business and residential citizens while educating them in current basic tree cultivation and management techniques;~~
- ~~(E) To reduce the erosive effects of rainfall, protect water resources, mitigate ambient air temperatures and improve air quality;~~
- ~~(F) To prevent clear cutting; and~~
- ~~(G) To maintain or increase property values by preserving visually pleasing and desirable site features.~~

To protect, enhance, and increase healthy tree cover as new development occurs throughout Frisco to maximize the many benefits that trees bring to the community – lower energy costs, reduced heat island effect, improved air quality, reduced stormwater runoff, increased livability and enhanced quality of life.

4.01.02. Purpose Scope

The scope of Subsection 4.01 Tree Preservation Requirements includes the removal and/or transplanting of any tree, ~~and mitigation for the removal of Protected Trees~~ and the scope of the project and/or activity authorized by a Tree Removal Permit is limited to removing and/or transplanting trees or required mitigation. A permit approved by the Director is required before removing and/or transplanting any tree and mitigation for the removal of Protected Trees. and the required measures for protecting trees to remain on site. (See definition **Tree, Protected** (Page XXX).

4.01.03. Tree Removal Permit

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(B) Application for a Tree Removal Permit

An application for a Tree Removal Permit may be submitted at any time and is not required to be submitted in conjunction with development plans, Preliminary Plat, or a Building Permit. An application for a Tree Removal Permit shall be submitted to the Director and shall include:

- (1) A letter signed by the property owner allowing the City access to the property for verification of all tree survey information;
- (2) A written document indicating the reasons for transplanting and/or removal of Protected Trees;
- (3) A detailed tree survey and/or tree preservation plan ~~if required in~~ See 4.01.07. Tree Surveys and Tree Preservation Plans (Page XXX).

(C) Review of the Application for a Tree Removal Permit

- (1) Upon receipt of an application for a Tree Removal Permit, the Director shall review the application and may conduct field inspections of the site or development and/or refer the permit application to other departments for review and recommendations as deemed necessary and appropriate by the City.
- (2) Protected Trees may not be removed or transplanted without a Tree Removal Permit. The removal of protected trees is subject to the mitigation requirements of 4.01.05. Mitigation for Trees Removed

(Page XXX).

- (3) If the Director determines that the tree(s) are not protected as defined herein, then the applicant may remove the tree(s) from their property without mitigation once the Tree Removal Permit has been issued.

4.01.04. Exceptions

(A) Director Authority to Remove Protected Trees

The Director may authorize, in writing, removal of a Protected Tree without mitigation under the following circumstances.

- (1) A Protected Tree is determined by ~~an arborist~~ a Certified Arborist to be ~~in a hazardous or dangerous condition so as to endanger the public health, welfare or safety, such as a tree that is damaged or diseased.~~ hazardous or dangerous to the public health, safety, and welfare.
- (2) A Protected Tree is ~~in located~~ in ~~a the~~ right-of-way of a Major or Minor thoroughfare as defined by the City of Frisco Engineering Standards – Section 2 Thoroughfare Design Requirements or an easement and hinders or obstructs the construction, maintenance, repair, and/or replacement of ~~major and minor~~ such thoroughfares ~~as defined by the Thoroughfare Design Standards Ordinance,~~ water and sewer lines, drainage and storm sewer infrastructure, or other public improvement projects. This exception excludes infrastructure within or related to the construction of a proposed development except for the construction of thoroughfares within the Thoroughfare Masterplan and other capital improvement projects.

(B) Single Family or Two-Family Lots

A Tree Removal Permit shall be required to remove and/or transplant a Protected Tree (see definition *Tree, Protected* (Page XXX) except for a Protected Tree located on a single family or two family lot contained within a plat of record. If a tree required by the Zoning Ordinance is removed, it shall be replaced with a three (3) inch caliper or greater tree of an approved species from the City's recommended ~~large and medium~~ canopy shade tree lists. Street trees if removed shall be replaced with a three and one-half (3½) inch caliper or greater ~~trees~~ canopy shade tree by the adjacent property owner.

(C) Nurseries

All retail, commercial, and wholesale nurseries are exempt from the terms and provisions of this Subsection 4.01 Tree Preservation Requirements in relation to those trees planted and growing on the premises of said business and that are planted and growing for the sale or intended sale in the ordinary course of business only.

(D) Utility Companies

- (1) Utility companies franchised by the City in easements or rights-of-way accepted by the City or otherwise authorized to provide utility service may remove Protected Tree(s) that endanger public safety and welfare by interfering with utility service;
- (2) ~~Any trimming and/or removal~~ The removal and trimming of Protected Tree(s) by a utility company requires ~~prior written approval from the Director,~~ a Tree Removal Permit, except in the case of emergency repairs; and
- (3) A utility company shall notify the Director of any ~~trimming~~ pruning and/or removal ~~done~~ of Protected Trees done while making emergency repairs on the first business day following the emergency.
- (4) All pruning shall be completed in accordance with ANSI A300 standards, and the Best Practices for Municipal Urban Forestry.

(E) Mowing and Clearing

The mowing and clearing of brush located within or under the drip lines of Protected Trees is ~~allowed~~ may be

permitted when approved by the Development Services Landscape Architect, provided such mowing or clearing is accomplished by hand or by mechanical mowers with turf tires. Proposed clearing within the floodplain if necessary shall be in accordance with Frisco Stormwater Best Management Practices Maintenance Guidelines, as it exists or may be amended.

(F) Golf Courses and Pedestrian Trails

Development or redevelopment of golf courses and pedestrian trails shall be responsible for fifty (50) percent of the requirements for ~~Replacement Trees.~~ tree replacement or transplanting when warranted for at least one year after transplanting (Page XXX).

(G) Agricultural Users

- (1) Agricultural users can remove Protected Tree(s) for agricultural production ~~with prior written permission from the Director~~ by obtaining a Tree Removal Permit.
- (2) ~~A Protected Tree inventory summary is required to list tree(s) proposed to be removed and preserved.~~ A Tree Survey of Protected Trees shall be submitted and approved with the Tree Removal Permit.
- (3) Replacement requirements of Protected Tree(s) being removed for agricultural production will be prorated equally over a period of ten (10) years.
- (4) Should the property be developed prior to the full ten (10) years, the remainder of required trees shall be planted on the property in addition to the required trees. Planting of additional trees or tree mitigation fund payment shall comply with the minimum mitigation rates.

4.01.05. Mitigation for Trees Removed

(A) Replacement Requirements for Protected Trees

- (1) ~~Protected Trees shall be replaced by planting trees on the property equal to the total caliper inches as calculated using the following replacement rate.~~ Protected Trees may be replaced by:
 - a. Planting trees on the property equal to the total required mitigation inches above the minimum tree requirement for the development. (See table below.)
 - b. Payment of Tree Mitigation Fund fees equal to the total required mitigation inches (see table below.).
 - c. A combination of planting trees or payment of Tree Mitigation Fund fees equal to the total required mitigation inches (see table below.).
- (2) Trees required by Subsection 4.02. Landscape Requirements do not count toward the Tree Mitigation requirements for the removal of protected trees.
- (3) All replacement tree measurements are in caliper inches in accordance with the American Standards for Nursery Stock current edition as it exists or may be amended (ANSI Z60.1) and shall be minimum three (3) inch caliper trees unless otherwise noted.
- (4) All replacement trees shall be selected from and conform to the standards of 4.02.03. Approved Plant Materials and Landscape Standards (Page XXX).
- (5) Mitigation trees that do not survive after three (3) years shall be replaced with equal diameter inches of approved canopy shade trees.

Size of Protected Tree*	Percentage Replacement Trees**
Less than 6"	0%
6" – 12"	100%
12.1" - 20"	150%
20.1" or greater	300%

*All existing tree measurements are in ~~caliper inches diameter~~ inches as measured four and one-half (4½) feet (DBH) above the natural ground level.

For multiple trunk trees, combine the diameter of largest stem or trunk with one-half of the diameter of each additional stem or trunk, all measured at four and one half (4½) feet above ground level.

~~** All replacement tree measurements are in caliper inches in accordance with the American Standards for Nursery Stock (ANSI Z60.1-2004) and shall be minimum three (3) inch caliper trees unless otherwise noted.~~

~~All replacement trees shall be selected from and conform to the standards of 4.02.03. Approved Plant Materials and Landscape Standards (Page 126)~~

(B) Transplanted Trees

- (1) Protected Trees on a property may be transplanted to another location on the same property without being subject to the above replacement rates.
- (2) All Transplanting shall be done in accordance with ANSI 300 industry standards. Should a transplanted tree die, it shall be removed, and replacement trees shall be planted at a rate of one hundred (100) percent of the caliper inches of the transplanted tree(s). The replacement of the trees shall take place no later than 13 months after the date the tree was transplanted.

~~(C) Replacement Trees on a Different Property~~ Tree Mitigation Fund

If any replacement tree cannot be located on the property, the developer shall make a payment for the required mitigation inches to the Tree Mitigation Fund when approved by the Director of Development Services. The cash value of replacement trees will be set by the Director annually. ~~applicant may plant the replacement tree(s) on City property, and/or common open space and/or pay a fee, as approved by the Director. The cash value of replacement trees will be set by the Director annually.~~

(D) Trees Located in Proposed Driveways, Right Turn Lanes, and/or in Median Openings

The person(s) or entity responsible for making any improvements that causes or results in the removal of tree(s) ~~in proposed non-single or two-family driveways,~~ from driveways, right turn lanes, and/or in ~~proposed~~ planned median openings for the proposed development shall plant replacement tree(s) at a rate of one hundred (100) percent of the total diameter of the tree(s) being removed.

(E) Mitigation of all Trees in Riparian Buffer and Floodplain

All trees ~~six (6)~~ (4) inches or larger in diameter regardless of species in a pre-reclamation Riparian Buffer (Page XXX) or floodplain shall be mitigated. ~~Replacement trees of less than three (3) inches are allowed for mitigation of trees removed from Riparian Buffer and floodplains~~ and meet the following:

- (1) The replacement trees used for mitigation shall be planted within the Riparian Buffer/ floodplain wherever possible to contribute to the stabilization and ecological restoration of the creek.
- (2) The replacement/ mitigation trees for Riparian Buffers and floodplains may be less than three (3) inches in diameter with the approval of the Director of Development Services.

4.01.06. Tree Protection Measures

All Protected Tree(s) shall be protected by the owners as follows, unless otherwise directed by the Director of Development Services.

(A) Plastic ~~or Silt~~ Fencing

Before development or redevelopment, the owner shall install a four (4) foot tall plastic fence ~~or where approved, silt fencing~~ around the drip line of the Protected Tree(s). Other fencing materials may be allowed upon approval of the Development Services Landscape Architect.

(B) Construction Entrance Location

Before development or redevelopment, the owner shall establish and maintain a construction entrance that avoids Protected Trees.

(C) Equipment or Materials Disposal

Cleaning equipment or materials and/or the disposal of any waste material, including, but not limited to, paint, oil, solvents, asphalt, concrete, mortar, etc., is prohibited under the canopy or drip line of any Protected Tree.

(D) Attachment to Protected Trees

- (1) Attachments or wires are prohibited from being attached to any Protected Tree.
- (2) Cables, tree rods, and similar hardware installation that aid structural integrity of a Protected Tree are exempt from this section when approved in writing by the Director of Development Services.

(E) Canopy or Drip Line Protection

- (1) Fill or excavation ~~shall not occur~~ is prohibited within the canopy or drip line of a Protected Tree.
- (2) ~~Major changes of grade (i.e., three [3] inches or greater) within the canopy or drip line will require additional measures to maintain proper oxygen and water exchange with the roots.~~ Construction or construction related activity is prohibited under the canopy or drip line of Protected Trees, unless otherwise approved in writing by the Director of Development Services.

(F) Root Pruning Requirements

- (1) Root pruning ~~will~~ shall be required when disturbance will occur under the drip line of protected Trees.
- (2) This root pruning shall be completed a minimum of two (2) weeks prior to any construction activity within the drip line.

(G) Disposal of Removed Trees

- (1) ~~Any~~ All trees removed shall either be chipped and used for mulch on site or hauled off-site within 72 hours of cutting.
- (2) ~~Burning of removed trees, stumps, or foliage requires written approval by the Fire Chief.~~

(H) Tree Maintenance and Pruning Practices

- (1) All tree maintenance techniques shall be in conformance ~~with industry identified standards and~~ with ANSI A300 standards and the Best Management Practices for Municipal Urban Forestry and shall be performed by a Certified Arborist (Page XXX).
- (2) ~~No person(s) or entity may use improper or malicious maintenance or pruning techniques which would likely lead to the death of the tree.~~ Improper or malicious maintenance or pruning techniques which would likely lead to the death of the tree are a violation of the Zoning Ordinance and may result in citations and penalties.

4.01.07. Tree Surveys and Tree Preservation Plans

(Ord. No. 19-10-83;10/1/19)

(A) Tree Survey

~~A detailed Tree Survey identifying natural vegetation, Protected Trees and anticipated Protected Tree losses, shall be submitted with all Preliminary Plats, Preliminary Site Plans, and Site Plans as a document to aid in the review of said plans. The Tree Survey shall not be considered filed and shall not be acted on by the Director, the Planning & Zoning Commission or the City Council; however, failure to submit the Tree Survey, where the Tree Survey is required under this Ordinance, with such applications shall be grounds for denial or rejection of such applications.~~

(1) ~~Tree Survey Application and Requirements~~

~~The detailed Tree Survey shall include the information listed on the Tree Survey Checklist, as it exists or may be amended, which shall be established and maintained by the Director and published as part of the Development Application Handbook.~~ Tree Survey Purpose:

- a. To Identify Protected Trees and non-protected trees within the limits of the area to be developed or disturbed.
- b. To Tabulate the species, size and condition of those trees and indicate whether they are to be removed or preserved.
- c. To Indicate the mitigation rates, and mitigation inches, including the total mitigation inches, for all protected trees to be removed within the limits of the work.

(2) ~~Tree Survey Approval~~

~~The detailed Tree Survey shall be filed with the Construction Plans for approval. Failure to file for approval of a Tree Survey shall be grounds for denial or rejection of the Construction Plans.~~

A Tree Survey shall be prepared by an ISA Certified Arborist, ASCA Arborist, or Landscape Architect licensed in the state of Texas in accordance with the Tree survey & Tree Preservation Plan Checklist in the Development Application Handbook as it exists or may be amended.

(3) Tree Survey Submittal Requirements

- a. The detailed Tree Survey shall include the information listed on the Tree Survey Checklist, as it exists or may be amended, which shall be established and maintained by the Director of Development Services and published as part of the Development Application Handbook.
- b. A Tree Survey shall be submitted with the following development applications including but not limited to:
 1. Zoning cases
 2. Preliminary Plats
 3. Preliminary Site Plans
 4. Site Plans
 5. Grading Plans
 6. Civil Construction Sets
 7. Tree Removal Permits
- c. Failure to submit the Tree Survey, where the Tree Survey is required under this Ordinance, shall be grounds for denial or rejection of the application.

(4) Tree Survey Approval

- a. The tree removal work shall not proceed until:
 - i. The Detailed Tree Survey and Tree Preservation Plans have been approved by the Development Services Landscape Architect.

- ii. The mitigation fees have been paid or mitigation plans approved.
- iii. The Tree Removal Permit has been issued.
- b. When an early Grading Permit is sought before the civil Construction Set has been approved, the Tree Survey and Tree Preservation plans shall be approved first before the issuance of the Grading Permit and no clearing or tree removal work may proceed until a Tree Removal Permit has been issued.

(B) Tree Preservation Plan

~~A Tree Preservation Plan providing detailed information beyond the requirements of a tree survey shall be submitted with the Construction Plans for the proposed development and is only required for areas that are intended to be disturbed.~~

(1) ~~Tree Preservation Plan Application and Requirements~~

~~The Preservation Plan shall include the information listed on the Tree Preservation Plan Checklist, as it exists or may be amended, which shall be established and maintained by the Director and published as part of the Development Application Handbook. Purpose:~~

- a. To show the location of the tree protection fencing for trees that are to be preserved on the site.
- b. To provide installation details for the tree protection fencing.
- c. To define the areas of disturbance. (Only required for areas that are intended to be disturbed.)

(2) Tree Preservation Plan Submittal Requirements

- a. The Tree Preservation Plan shall be submitted with the Tree Survey as required per submittal checklists for the proposed development.
- b. The Preservation Plan shall include the information listed on the Tree Preservation Plan Checklist, as it exists or may be amended, which shall be established and maintained by the Director of Development Services and published as part of the Development Application Handbook.

4.01.08. Verifications and Inspections

(A) Field Verification

- (1) ~~Prior to written approval of the Tree Preservation Plan, the applicant shall mark all trees to be preserved and notify (in writing) the Director of the marking. Grading and tree clearing work shall be prohibited until the Development Services Landscape Architect has field verified and approved the information on the Tree Survey and Tree Preservation Plans including: the locations and correctness of trees to be removed, trees to be preserved and the tree protection fencing.~~
- (2) ~~The Director shall inspect and verify the markings within eleven (11) calendar days of his/her receipt of applicants' notification. No tree removal shall take place without first obtaining a Tree Removal Permit.~~
- (3) ~~If the Director has not contacted the owner within fourteen (14) calendar days from the date of notification, the protective plan submitted by the applicant is deemed approved.~~

(B) Site Preparation

- (1) Prior to the preconstruction meeting or obtaining a grading permit, all tree markings and protective fencing shall be installed by the owner and shall be inspected by the Director of Development Services.
- (2) ~~An approved silt fence may serve as protective fencing and shall remain in place until the City accepts the project.~~ A stop work order will be issued at any time if the tree preservation requirements are not being met.

(C) Final Inspections

- (1) ~~The owner shall notify the Director for an inspection fourteen (14) calendar days prior to receiving a Certificate of Occupancy.~~ The Final Inspection for the Tree Survey and Tree Preservation Plan shall occur simultaneously with the inspection for the Final Acceptance Certificate.
- (2) ~~All dead trees shall be replaced prior to receiving the Certificate of Occupancy.~~ Any discrepancies from the Tree Survey and Tree Preservation Plan shall be corrected prior to the issuance of the Final Acceptance Certificate.

4.01.09. Penalties for Violation

(A) Violation

Any person(s) or entity causing the transplanting or removing of a tree without first obtaining ~~an approved~~ a Tree Removal Permit is in violation of this Ordinance.

(B) Occurrence

Each tree removed or transplanted without a ~~permit~~ Tree Removal Permit shall constitute a separate offense.

(C) Compliance Required after Violations

Violation of this Ordinance shall not constitute an exemption to the replacement requirements of this Ordinance.

Subsection 4.02. Landscape Requirements

4.02.01 Purpose

~~This Subsection 4.02 Landscape Requirements concerns providing landscape space, trees, vegetation and other materials for the purposes of the following.~~

(A) Site Design

Complementing the design and location of buildings, streets, circulation systems, public open spaces, and enhancing the overall site design.

(B) Buffering

Minimizing the impacts of light, noise, movement, or activities from adjacent properties.

(C) Conservation

Protecting and conserving water resources and assisting in the management of storm water.

(D) Environmental

Improving air quality, moderating ambient temperatures, and lowering energy consumption.

(E) Soil Protection

Protecting and conserving soils from erosion by wind or water or from excavation or grading and the promotion of healthy soil biology.

4.02.02. Scope

...

(B) General Standards

~~The preparation of the Landscape and Irrigation plans shall be in accordance with the following standards. All landscapes shall be designed, constructed, and maintained in accordance with the following standards:~~

- (1) ~~Best management practices for tree pruning, ANSI A300, shall apply to this Subsection 4.02. as it exists or may be amended.~~
- (2) ~~Nursery standards shall be~~ American Standard for Nursery Stock, ANSI Z60.1, current edition, as it exists or may be amended.
- (3) ~~Best management practices for stormwater management as approved~~ Frisco Stormwater Best Management Practices Maintenance Guidelines, as it exists or may be amended by the Director of Engineering Services.
- (4) Irrigation Ordinance (No. 08-12-103, Frisco Code of Ordinances), as it exists or may be amended.
 - i. All areas shown as landscape improvements on a landscape plan shall be irrigated with a mechanical irrigation system that complies with the requirements set forth in the Frisco Irrigation Ordinance, No. 08-12-103, Frisco Code of Ordinances, as it exists of may be amended.
 - ii. Areas shown on a landscape plan that are intended to establish or reestablish native vegetation may be irrigated using temporary irrigation measures until the native vegetation is fully established, where approved by the Development Services Department Landscape Architect.
- (5) ~~City~~ Frisco Water Management Plan, as it exists or may be amended.

(C) Landscape Plan

- (1) A Landscape Plan is required for all applicable developments, as described above, and shall comply with Subsection 6.13. Landscape Plan Review (Page XXX).
- ~~(2) The Director shall establish and maintain a list of the required documents and elements for a Landscape Plan.~~
- ~~(3) A Landscape Plan shall be prepared by a Landscape Architect and submitted for review.~~
- ~~(4) Irrigation drawings shall be prepared by a licensed Irrigator.~~

(D) ~~Equivalent or Superior Alternative Landscape Requirements Design~~

- (1) ~~The Planning & Zoning Commission~~ The Director of Development Services may approve an modified alternative landscape requirements design that ~~are equivalent to, or exceed,~~ differs from the requirements set forth within this section in conjunction with the submittal Site Plan ~~only if the following is met.~~ when it meets the conditions below:
 - a. ~~The following standards are met:~~ Complies with the purpose and intent of this section.
 - ~~1. The proposed landscape requirements represent a superior result than that which could be achieved by strictly following the requirements of this section; and~~
 - ~~2. The proposed landscape design complies with the stated purpose of this section; and~~
 - ~~3. Landscape elements and yard area requirements are provided elsewhere on the site.~~
 - b. ~~The proposed landscape design either:~~ Incorporates significant trees and natural features of the site.
 - ~~1. Incorporates the retention of significant trees and naturally occurring undergrowth; or~~
 - ~~2. Better accommodates or improves the existing physical conditions of the subject property.~~
 - c. Better accommodates or improves the existing physical conditions of the site.
- (2) Should the Director deny an alternative landscape design, the applicant may appeal the Director's decision in accordance with Subsection 6.19.

(E) Landscape Inspections and Installation

- (1) The approved landscape ~~design drawings are a part of the civil construction set and~~ shall be inspected and approved by the ~~City's~~ Development Services Landscape Architect before a Final Acceptance Certificate and Certificate of Occupancy can be issued.
- (2) ~~The landscape construction may be delayed up to six (6) months under special circumstances when the amount of the landscape improvement costs is escrowed with the City or a performance bond is initiated between the City and the property owner.~~ Delay of Landscape Construction:
 - a. Landscape installation may be delayed up to six (6) months, when approved by the Director for the following circumstances, which include but are not limited to:
 1. Demolition of landscape due to future project phases of construction.
 2. Designation of Stage 3 or Stage 4 drought restrictions as designated by North Texas Municipal Water District (NTMWD).
 - b. Landscape Escrow:

Where the Director of Development Services agrees to a delay of landscape construction, the developer shall make a landscape escrow deposit to the City that meets the following requirements.

 1. Equal to one hundred and ten percent (110%) of the total turnkey costs;
 2. Including, but not limited to the, permitting, acceptance and inflation costs related to the improvements(s);

3. Should the landscape escrow not cover the total costs at the time of the landscape installation, The owner shall be responsible for the added costs to implement the landscape per the approved plan.

(F) Maintenance and Enforcement

- (1) The owner of the property shall maintain the landscape ~~pursuant to~~ in accordance with an approved landscape plan, the design intent and best management practices for the landscape maintenance as prescribed in Subsection 4.02.02(B).
- (2) The owner of a property that does not comply with these requirements shall be notified and given thirty (30) calendar days to comply.
- (3) If, after thirty (30) calendar days, the landscape still does not comply with the approved Landscape Plan the City may issue citations for the violation(s) pursuant to code enforcement provisions.
- (4) No parking or drive aisles may occur in the landscape buffer.

~~(G) Process Overview~~

~~The general landscaping process can be summarized into the three major steps, as shown in **Figure 4.02.02.1: Landscaping Process General Overview.**~~



4.02.03. Approved Plant Materials and Landscape Standards

(A) Approved Plant Materials

- (1) The Director shall establish and maintain a list of approved plants ~~for each landscape zone.~~
 - a. Plants shall be selected for the appropriate landscape zones as described 4.02.09. (B) Landscape Zones (Page XXX).
 - b. Other species may be utilized with approval from the Development Services Landscape Architect.
 - c. Artificial plants are prohibited except that artificial turf is allowed as described in the Artificial Turf Regulations chart below.
- (2) Tree ~~and Shrub~~ Planting Standards
 - a. ~~Tree size options:~~ All trees to be planted in the City of Frisco shall ~~be one of the following options meet the following minimum requirements:~~
 1. ~~A minimum three (3) inch caliper tree.~~ Shall be nursery grown and have the following:
 - i. One (1) straight dominant trunk or central leader to the top of the canopy, free of wounds and defects and exhibiting proper pruning cuts.
 - ii. A full uniform canopy, with branches evenly spaced and foliage of deep color representative of health and vigor for the species.
 - iii. A root system beginning with an exposed root collar and roots growing straight out from the trunk and uniformly spaced to create a firm and tight root ball that does not move or break when the tree trunk is firmly pushed.
 2. ~~A minimum two (2) inch caliper tree and verification that the tree has not been pruned in a "headed back" fashion, which is the pruning of the terminal bud.~~ Shall meet the following size requirements:
 - i. Canopy shade trees: a minimum of three (3) inch caliper.
 - ii. Parkway (Right-of-Way) trees: a minimum of three (3) and one-half inch (3½) inch caliper.
 - iii. Ornamental trees: a minimum of two (2) inch caliper.
 - b. Tree plantings shall not include more than forty-five (45) percent of the same tree species unless otherwise approved by the ~~Director~~ Development Services Landscape Architect.
 - c. A four (4) foot minimum trunk distance from concrete pavement, utility lines, screening walls, or other structures shall be maintained unless otherwise approved. A six (6) foot minimum trunk distance shall be maintained from back of street curbs.
 - d. Final locations of trees are subject to approval by the ~~City's~~ Development Services Landscape Architect.
 - e. Each landscape zone shall be designed to achieve complete coverage of the landscape while not being over planted (i.e., plant spacing on the planting plan shall represent not less than seventy-five (75) percent of the mature plant size).
 - f. A layer of fibrous mulch shall be provided in shrub beds and around trees. The root flare on all trees shall be kept exposed.
- ~~(3) Existing trees on-site shall count toward the total canopy coverage requirement, which is thirty-five (35) percent or as shown on the Trees Per Acre requirement in section 4.02.04. Landscape Area and Tree Requirements for Nonresidential, Mixed Use, and Multifamily Zoning Districts (Page 129) including non-protected trees in the Riparian Buffer (Page 332). Consideration to the overall health of individual existing trees shall be at the discretion of the City's Landscape Architect.~~

(B) Soils

- (1) Native topsoil shall be protected from erosion or stockpiled.
- (2) Native site topsoil shall be laboratory tested by an accredited laboratory and amended per said laboratory's recommendations to achieve a healthy soil biology.

(C) Landscape Water Use Requirements

- (1) Comply with the City of Frisco Water Management Plan (WMP) as it exists or may be amended.
- (2) All landscape irrigation including trees, shrub and flower beds, and turf shall comply with Frisco Irrigation Ordinance as it exists or may be amended.
- (3) All properties shall be irrigated in accordance with Frisco weekly Watering Recommendation (FWR) and shall not exceed those recommendations by more than 10%.

4.02.04. Landscape Requirements for Nonresidential, Multifamily and Mixed Use Zoning Districts

(Ord. No. 19-04-24; 04/02/19)

All nonresidential, mixed use, and multifamily zoning districts shall comply with the following landscape standards.

REQUIRED AND OPTIONAL LANDSCAPING BY USE					
	Retail	Office/ Non-Retail	Multi- Family	Mixed- Use	OTC
Street Frontage Landscape Areas (Figures on Page 130)					
S1 Urban	O	O	O	R	R
S2 Slip Road ¹	O/R ¹	O/R ¹	O/R ¹	O/R ¹	O
S3 Double Row ²	O/R ²	O/R ²	O/R ²		
S4 Single Row	R	R	R		
Street Median	R	R	R	R	R
Stormwater Quality Treatment (Engineering Standards-Section 4.18 Stormwater Quality Treatment)					
Stormwater Quality Treatment	R	R	R	R	
Façade Landscape Areas (Figures on Page 134)					
F1 Retail Façade	R			R	
F2 Office/Non-Retail Façade		R			
Drive Landscape Areas (Figures on Page 135)					
D1 Ceremonial Drive	O	O	O	O	
Screening/Buffer Areas (Figures on Page 141)					
B1 Solid Screening Wall	R	R	R		
B2 Screening Wall w/ Topographic Changes	R	R	R		
B3 Partially Solid Wall	O	O	O		
B4 Living Screen	O	O	O		
B5 Natural Area w/ Enhanced Buffer	R	R	R	R	
TREES PER ACRE	12	12	15	8	8
Notes: O = Optional; R = Required					
¹ Required in the Preston Road Overlay District.					
² Required in the Preston Road Overlay District where a slip road is not feasible.					

All nonresidential, mixed use, and multifamily zoning districts shall comply with the following landscape standards.

LANDSCAPE REQUIREMENTS BY USE					
	Retail	Office/ Non-Retail	Multi-Family	Mixed-Use	OTC
Street Frontage Landscape Areas (Figures on Page 130)					
S1 Urban	O	O	O	R	R
S2 Slip Road ¹	O/R ¹	O/R ¹	O/R ¹	O/R ¹	O
S3 Double Row ²	O/R ²	O/R ²	O/R ²		
S4 Single Row	R	R	R		
Façade Landscape Areas (Figures on Page 123)					
F1 Retail Façade	R			R	
F2a Office/Non-Retail Façade (Option A)		R			
F2b Office/Non-Retail Façade (Option B)		R			
Screening/Buffer Areas (Figures on Page 128)					
B1 Solid Screening Wall	R	R	R		
B2 Living Screening	O	O	O		
B3a Screening (topographical change 1)	R/O	R/O	R/O		
B3b Screening (topographic change 2)	R/O	R/O	R/O		
B3c Screening (topographic change 3)	R/O	R/O	R/O		
B3d Screening (topographic change 4)	R/O	R/O	R/O		
B4 Screening Partially Solid Wall	O	O	O		R
B5 Screening Wall for OTC District					R
B6 Natural Area w/ Enhanced Buffer	R	R	R	R	
B7 Screening with Double Row of Trees	R	R		R	
<p>Notes: O = Optional; R = Required</p> <p>¹ Required in the Preston Road Overlay District.</p> <p>² Required in the Preston Road Overlay District where a slip road is not feasible.</p> <p>See: Screening/Buffer Areas (Figures on Page 128)</p>					

4.02.05. Street Frontage Landscape Areas

STREET TYPE S1

Urban Street Frontage

1	Thoroughfare	Type A, B, C, D, F, or G
2	Sidewalk	15' minimum width to building; Continuous frontage
3	Trees	30' on center, in tree wells or grates. Minimum 500 square feet structural soil per tree or equivalent.
4	Median	Where applicable
5	Build-to-line	Applicable for all projects with a Build-to-Line

Figure 4.02.05.1: Urban Street Frontage

STREET TYPE S2

Slip Road Street Frontage

- 1 Thoroughfare Type A or B;
Required in Preston Road Overlay, optional in other zones¹
- 2 Landscape edge 8' width
- 3 Parking 24' drive aisle;
2 rows of parking, with 20' parking stalls;
One 9' wide landscape space at every 4th parking space, as shown
- 4 Sidewalk 15' minimum to building
- 5 Trees 3 rows aligned and centered in landscape spaces
- 6 Enhanced paving bands Brick or concrete pavers

¹ If used in other zones, must be uniform in the development (prohibited as infill).

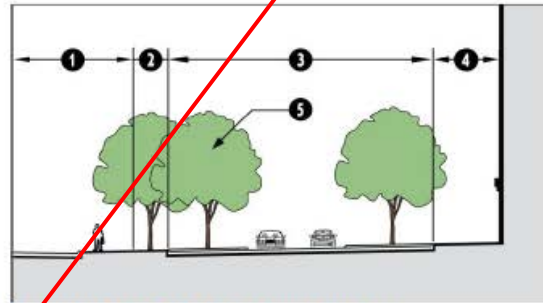
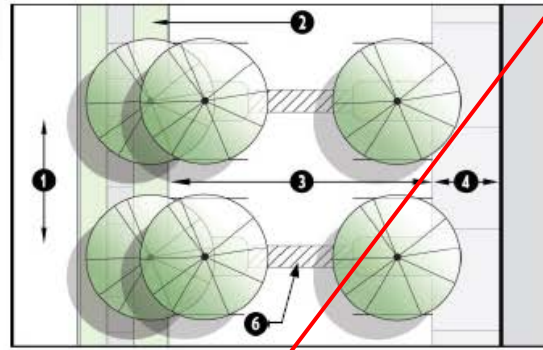


Figure 4.02.05.2: Slip Road Street Frontage

STREET TYPE S3

Double Row Street Frontage

- 1 Thoroughfare Type A or B
Required in Preston Road Overlay where slip road is not feasible. Optional in other zones
- 2 Landscape edge 30' width;
50' in Preston Road Overlay Rural Corridor
- 3 Trees 2 aligned rows, 4' minimum from pavement;
30' on center
- 4 Parking Edge 2' vehicle overhang, exclusive of landscape edge, required for 18' parking spaces (not required for 20' spaces with wheel stops);
No vegetation over 6' in height
- 5 Parking area

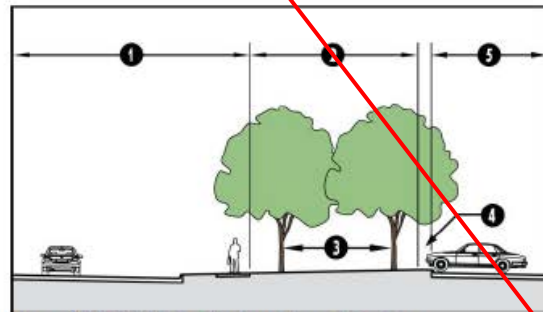
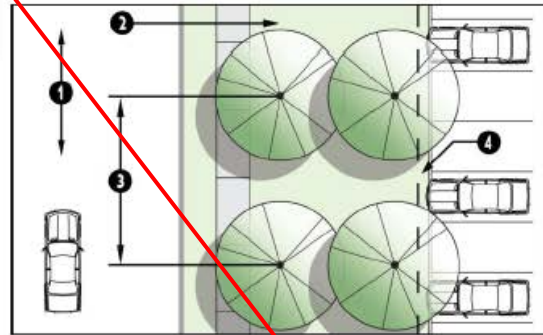


Figure 4.02.05.3: Double Row Street Frontage

STREET TYPE 34

Single Row Street Frontage

- 1 Thoroughfare Type A or B
- 2 Landscape edge 25' width
30' along U.S. Hwy. 380 and S.H. 121
- 3 Trees One row, centered in landscape edge;
30' on center
- 4 Parking Edge 2' vehicle overhang, exclusive of landscape edge, required for 18' parking spaces (not required for 20' spaces with wheel stops);
No vegetation over 6' in height
- 5 Parking area

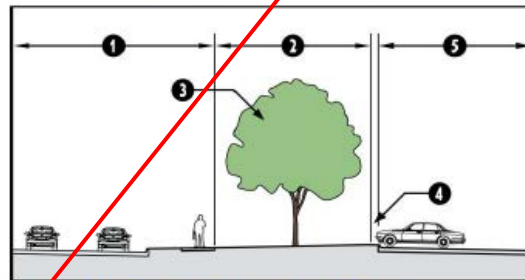
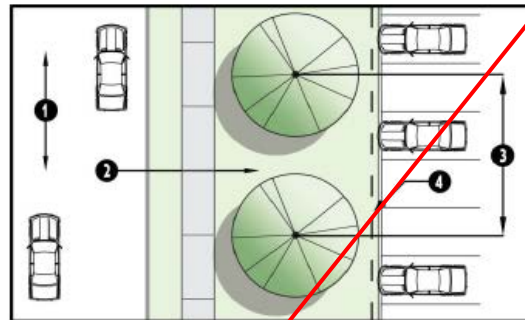


Figure 4.02.05.4: Single Row Street Frontage

STREET MEDIAN

Median in a Public Street

- 1 Thoroughfare Type A & B
- 2 Landscape median See Thoroughfare Design Standards Ordinance
- 3 Trees 35' on center;
Center in median
- 4 Median nose 60' clearance per Thoroughfare Standards

Development adjacent to Type 'A' and 'B' thoroughfares are required to provide, or pay a fee for, one 3" caliper large tree per 70 linear feet of frontage for each side of the street.

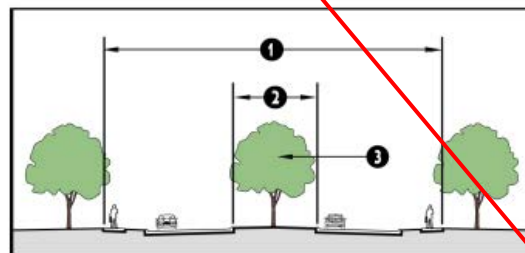
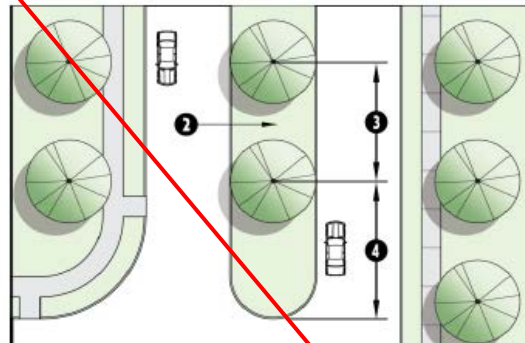


Figure 4.02.05.5: Median in a Public Street

STREET TYPE S1

Urban Street Frontage

- 1 Thoroughfare Type A, B, C, D, or E
See [Engineering Standards](#)
- 2 Sidewalk 15' minimum width to building
Continuous frontage*
- 3 Trees Canopy shade trees
30' on center, in tree wells or grates.
- 4 Median *Where applicable*
- 5 Build-to-line

*Applicable projects with a Build-to-Line. Planned Development ordinance and OTC standards may apply.

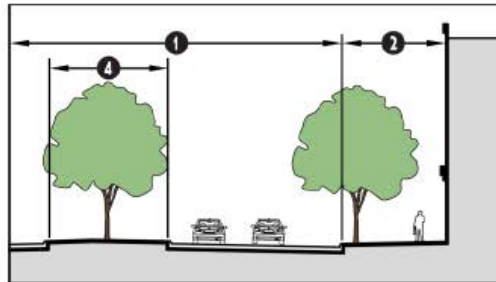
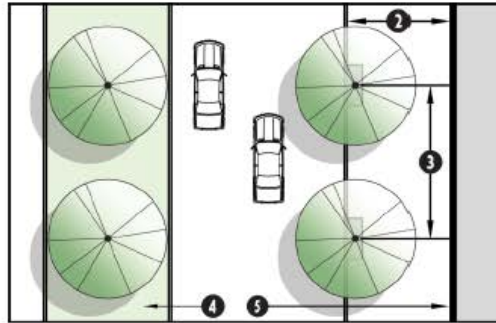


Figure 4.02.05.1: Urban Street Frontage

STREET TYPE S2

Slip Road Street Frontage

- 1 Thoroughfare Type A or B
See [Engineering Standards](#)
Required in Preston Road Overlay, optional in other zones¹
- 2 Landscape buffer 8' width
- 3 Parking 24' drive aisle
2 rows of 20'x 9' parking stalls – every 4th space is a landscape space, as shown
- 4 Sidewalk 15' min. to building
- 5 Trees Canopy shade trees
3 rows aligned and centered in landscape spaces
- 6 Enhanced paving bands Brick or concrete pavers

¹ If used in other zones, must be uniform in the development (prohibited as infill).

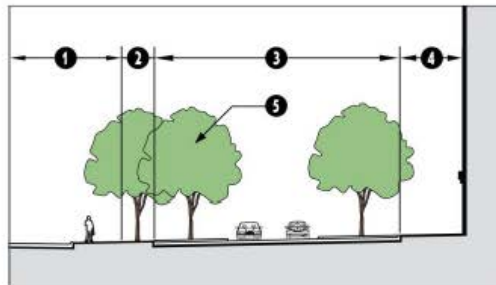
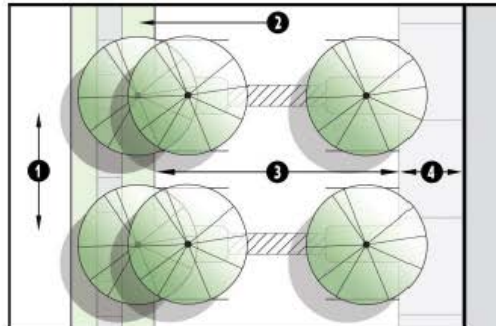


Figure 4.02.05.2: Slip Road Street Frontage

STREET TYPE S3

Double Row Street Frontage

- 1** Thoroughfare Type A or B
See [Engineering Standards](#)
Required in Preston Road Overlay where slip road is not feasible. Optional in other zones.
- 2** Landscape buffer 30' width
50' in Preston Road Overlay Rural Corridor
- 3** Trees Canopy shade trees
2 aligned rows, 4' min. from pavement
30' on center
- 4** Parking Edge 2' vehicle overhang, exclusive of landscape buffer, required for 18' parking spaces (not required for 20' spaces with wheel stops)

No vegetation over 6' in height
- 5** Parking area Width may vary

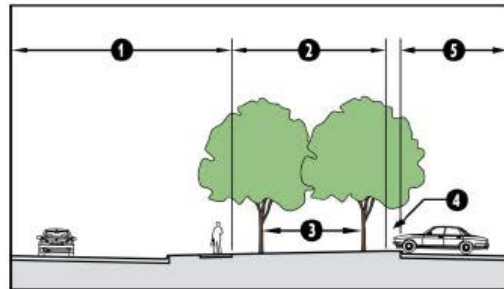
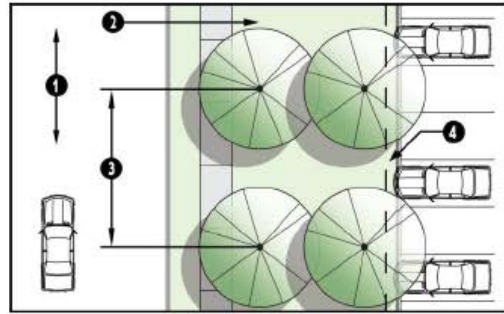


Figure 4.02.05.3: Double Row Street Frontage

STREET TYPE S4

Single Row Street Frontage

- 1** Thoroughfare Type A, B, C, D or E
See [Engineering Standards](#)
- 2** Landscape buffer 25' width Type A & B
15' width Type C, D, or E
30' width U.S. Hwy. 380, S.H. 121 & DNT
- 3** Trees Canopy shade trees
One row, centered in landscape edge
30' on center
- 4** Parking Edge 2' vehicle overhang, exclusive of landscape buffer, required for 18' parking spaces (not required for 20' spaces with wheel stops)

No vegetation over 6' in height
- 5** Parking area Width may vary

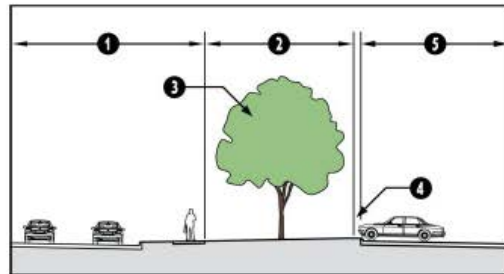
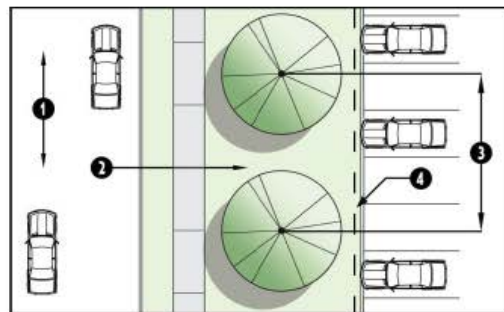


Figure 4.02.05.4: Single Row Street Frontage

4.02.07. Façade Landscape Areas

FAÇADE TYPE F1

Retail Shopping Center Façade

1	Sidewalk	15' minimum to building
2	Main drive aisle	24' minimum width
3	Trees, façade	30' on center ¹ in grates or tree wells ²
4	Parking island	9' minimum width; Terminus of parking rows at main drive aisle
5	Trees, parking	Center in landscape
6	Parking rows	

¹ Structural soil or equivalent required per industry standard (provide details).
² Not required for section where an arcade is provided or hard awning (not fabric) extends over the sidewalk.

Figure 4.02.07.1: Retail Shopping Center Façade

FAÇADE TYPE F2

Office / Non-Retail Center Façade

1	Façade	South and West Façades with glazing
2	Landscape area	15' minimum adjacent to structure
3	Trees, façade	30' on center or as appropriate for species
4	Sidewalk	6' minimum width
5	Main drive aisle	24' minimum
6	Parking island	9' minimum width; Terminus of parking rows along the main drive aisle; Equal to 2 parking spaces
7	Parking lot	
8	Trees, parking	Center in landscape island

Offices in Mixed-Use zone shall provide Retail Shopping Center Façade (Figure 4.02.07.1).

Figure 4.02.07.2: Office / Non-Retail Center Façade

FAÇADE TYPE F1

Retail Shopping Center Façade

- ❶ Sidewalk 15' min. to building
- ❷ Main drive aisle 24' min. width
- ❸ Trees, façade Canopy shade trees* 30' on center in grates or tree wells
- ❹ Parking island 9' min. width
Terminus of parking rows at main drive aisle
- ❺ Trees, parking Center in landscape
- ❻ Parking rows Width may vary

*Not required for section where an arcade is provided, or hard awning (not fabric) extends over the sidewalk.

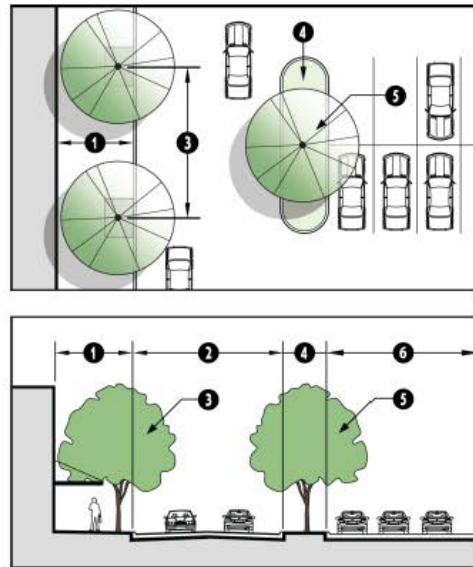


Figure 4.02.07.1: Retail Shopping Center Façade

FAÇADE TYPE F2a

Office / Non-Retail Center Façade

- ❶ Façade South and West facing
- ❷ Landscape area 15' min. adjacent to structure
- ❸ Trees, façade Canopy shade trees 30' on center
- ❹ Sidewalk 6' min. width or 8' width with a 2' vehicular overhang
- ❺ Main drive aisle 24' min.
- ❻ Parking island 9' min. width
At the terminus of parking rows along the main drive aisle
Equal to 2 parking spaces
- ❼ Parking lot Width varies
- ❽ Trees, parking Center in landscape island

Offices in Mixed-Use zone shall provide Retail Shopping Center Façade (Figure 4.02.07.1).

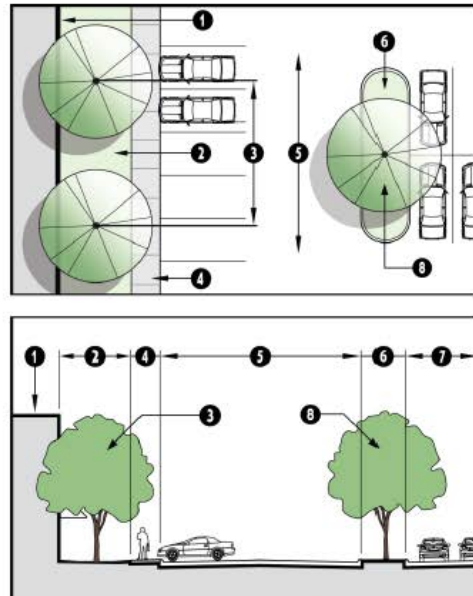


Figure 4.02.07.2: Office / Non-Retail Center Façade

Office / Non-Retail Center Façade - Trees Further from building

- 1** Façade South and West facing
- 2** Landscape area 15' min. adjacent to structure
- 3** Trees, façade Canopy shade trees
Centered in landscape spaces. One landscape space replaces every 4th parking space as shown.
- 4** Sidewalk 6' min. width or 8' width with a 2' vehicular overhang
- 5** Main drive aisle 24' min.
- 6** Parking island 9' min. width

At the terminus of parking rows along the main drive aisle

Equal to 2 parking spaces
- 7** Parking lot Width varies
- 8** Trees, parking Center in landscape island

Offices in Mixed-Use zone shall provide Retail Shopping Center Façade (Figure 4.02.07.1).

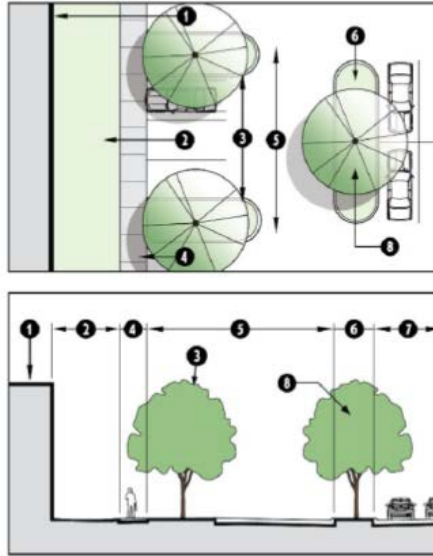


Figure 4.02.07.3: Office / Non-Retail Center Façade

4.02.08. Drive Landscape Areas

(Ord. No. 19-04-24; 04/02/19)

DRIVE AISLE TYPE D1

Ceremonial Drive (Optional)

- 1** Landscape area 10' minimum;
- 2** Entry drive aisle 24' minimum;
On axis with building main entry
- 3** Parking rows Landscape terminus on main drive aisle
- 4** Trees, ceremonial drive 30' on center or as appropriate for species;
Center in 10' wide landscape area
- 5** Trees, façade 30' on center¹ in grates or tree wells²

¹ Structural soil or equivalent required per industry standard (provide details).

² Not required for section where an arcade is provided or hard awning (not fabric) extends over the sidewalk.

³ With Director approval, trees may be clustered and trees required by other various landscaping sections may be clustered within a Ceremonial Drive.

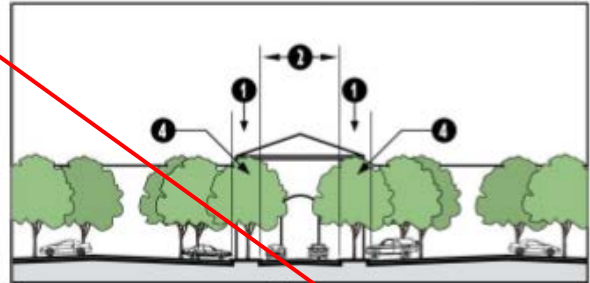
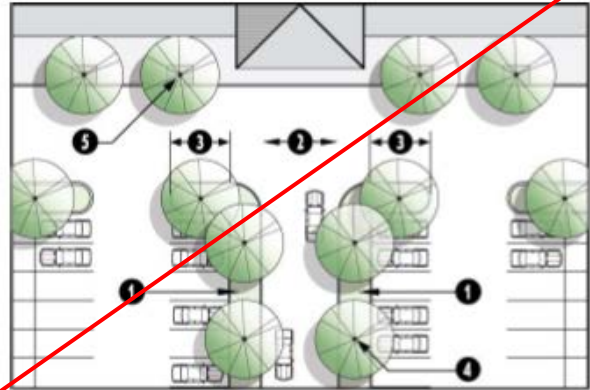


Figure 4.02.08.1: Ceremonial Drive

4.02.09. Landscaping Type Requirements for Nonresidential, Mixed Use, and Multifamily Zoning Districts

(A) Intent

This section 4.02.09. establishes the landscape types (i.e., landscape zones) to be used to fulfill the landscape area requirements established in 4.02.04. Landscape Area and Tree Requirements for Nonresidential, Mixed Use, and Multifamily Zoning Districts (Page 129).

(B) Landscape Zones

A landscaping zone is a portion of the landscape area having plants with similar water requirements, site conditions or functions. The following are the three types of landscape zones:

(1) Natural Landscape Zone

— A landscape zone composed of native and adapted plants that do not require irrigation after establishment.

(2) Stormwater Quality Treatment (*Ord. No. 19-04-24; 04/02/19*)

— A landscape zone that is designed to capture, filter, reuse or infiltrate rainwater with the purpose of protecting and conserving water resources and can be one of the following:

- a. — Stormwater Quality Treatment: Engineering Standards Section 4.18 Stormwater Quality Treatment establishes the design requirements for stormwater quality. The Approved Plant Materials list provides plant material approved for use within a Stormwater Quality Treatment area.
- b. — Rainwater Harvesting: A system for collecting rainwater and/or graywater in cisterns or water bodies and using it for irrigation and/or other purposes.

(3) High Water Usage Landscape Zone

— A Landscape Zone composed of high water usage or non-drought tolerant turf and other plants may be used within the landscape design. This is not a required zone.

(C) Water Use Requirements

(1) Exemptions

- a. Cemeteries;
- b. Ecological restoration projects and landscape designs that do not require a permanent irrigation system;
- c. Landscapes that are irrigated solely with reclaimed water or storm water where a connection to the City water system is not proposed; and
- d. City parks, and recreation areas, golf courses, street medians and school athletic fields and play areas.

(2) Implementation of Water Use Requirements

- a. Landscape zones shall be used in the landscape design and water use calculations.
- b. If the Landscape Water Allowance (LWA) (Page 320) is not exceeded, then various combinations of landscape zones may be used on any given property including a water resource zone equal to five (5) percent of the impervious parking surface.

(3) Landscape Water Allowance (LWA)

- a. For design purposes, the LWA establishes the upper limit of annual applied water for the established landscape area.
- b. The Landscape Water Allowance (LWA) (Page 320) shall be calculated for each Landscape Plan (Page 125) with a "Calculator Form" maintained by the Director.

(4) Estimated Landscape Water Use (ELWU)

The Estimated Landscape Water Use (ELWU) (Page 313) shall be calculated using the "Calculator Form."

(5) Alternative Plant Coefficient (Pc) or Irrigation Efficiency (IE) Approval

- An alternative Plant Coefficient (Pc) (Page 329) or Irrigation Efficiency (IE) (Page 319) may be approved by the Director in calculating the ELWU if:
 - a. The calculations are based on a methodology or test data that has generally been endorsed or approved by the landscape profession; or

(D) Irrigation Hydro-Zones

Each irrigation zone shall apply water to plants with similar water and light requirements (e.g., plants in a High Water Usage Zone shall be watered separately from plants in a Natural Landscape Zone). Areas within ten (10) feet from the curb may be irrigated only with one of the following:

- (1) Drip irrigation, or
- (2) Efficient low precipitation nozzles as may be approved by the Director.

4.02.10. Landscaping Requirements for Single Family, Two Family, and Townhome Lots

Single Family (SF), Two Family (2F), and Townhome (TH) developments shall comply with the following:

- (A) ~~Residential Tree Requirements: Landscape Plans and drawings are not required.~~ Open Space Requirements for Patio Homes and Townhome developments. (See Patio Home (PH) and Townhome (TH) Usable Open Space.)
- (B) ~~Model home landscaping: Home builder shall submit the following drawings and information prepared by a Landscape Architect with an application for a Building Permit. The Thoroughfare Screening Requirements in the Subdivision Ordinance. (See Thoroughfare Screening Requirements Section 8.06.)~~
 - (1) ~~Provide landscape Water Use calculations, pursuant to 4.02.09.(C) Water Use Requirements (Page 136).~~
 - (2) ~~Landscape and irrigation drawings that use of Natural Landscape, Water Resource and High Water Usage (optional) landscape zones.~~
- (C) ~~Basic Home Builder landscape packages for individual lots~~ Residential Tree Requirements for individual lots: Landscape Plans and drawings are not required.
 Provide drought tolerant plants able to survive stage three drought restrictions pursuant to the City Drought Contingency Plan. Bermuda will be allowed as a drought tolerant turf; however, alternative native drought tolerant grasses, which will remain green while using fifty (50) percent less water, shall be offered as an alternative.

Residential Zoning District	Number of Medium or Large Trees Required Per Lot*
RE	6
SF-16	5
SF-12.5	4
SF-10	4
SF-8.5	3
SF-7	2
OTR	2
PH	1
2F	2
TH	1

*Note: One street tree shall count as one of the required number of lot trees.

- (D) Required landscape for Rights-of-Way (See Thoroughfare Design Standards [TSD] Ordinance) – Medians (divided thoroughfares).

- (2) [Residential Developments adjacent to a divided thoroughfare shall pay a fee to the City of Frisco Engineering Services to cover 50% of the landscape costs for the adjacent median.](#)
- (3) [Trees shall be planted at thirty-five \(35\) feet on center and as required in the Engineering Standards](#)
- (E) [Required Landscaping for Rights-of-Way – Residential Streets \(Also see Engineering Standards as it exists or may be amended.\)](#)

RESIDENTIAL STREET TYPE R1

Front Entry

- 1 Front Yard
- 2 R.O.W. Type F per TDS Ordinance
- 3 Pavement 30' width F/F
- 4 Trees 35' on center;
3 1/2 - inch caliper;
6' minimum from the face of curb;
4' minimum from sidewalk
- 5 Sidewalk easement 2' wide

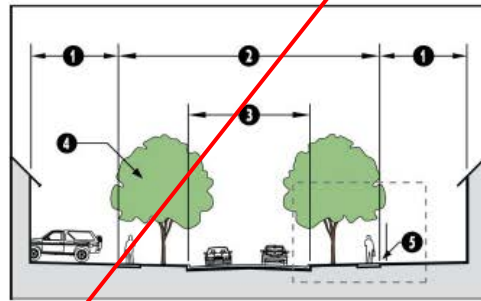
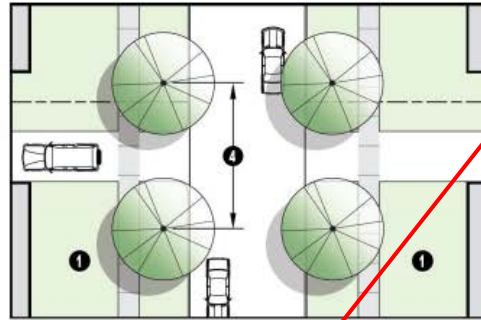
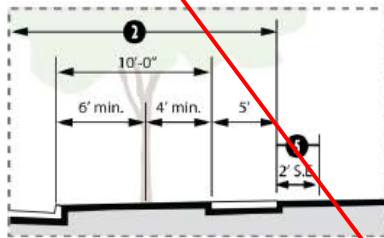


Figure 4.02.10.1: Residential Street, Front Entry

RESIDENTIAL STREET TYPE R2

Rear Entry

- 1 Front Yard
- 2 R.O.W. Type G per TDS Ordinance
- 3 Pavement 26' width F/F
- 4 Trees 35' on center;
3 1/2 - inch caliper;
6.5' minimum from the back of curb;
4' minimum from sidewalk
- 5 Sidewalk easement 2' wide

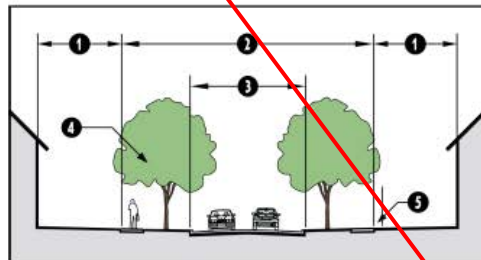
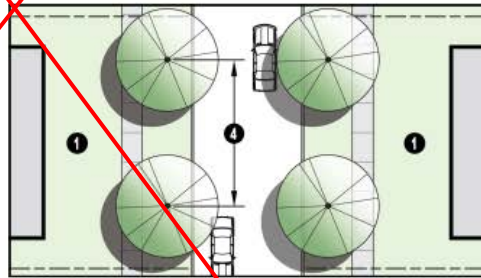
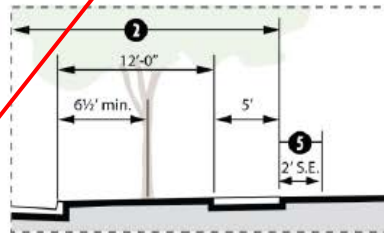


Figure 4.02.10.2: Residential Street, Rear Entry

RESIDENTIAL STREET TYPE R1

Front Entry

- 1** Front Yard Width may vary
- 2** R.O.W 60' width
- 3** Pavement 30' width F/F
- 4** Trees Canopy shade trees
35' on center
3 ½ - inch caliper
6' min. from back of curb, 4'
min. from sidewalk
- 5** Sidewalk
easement 2' wide

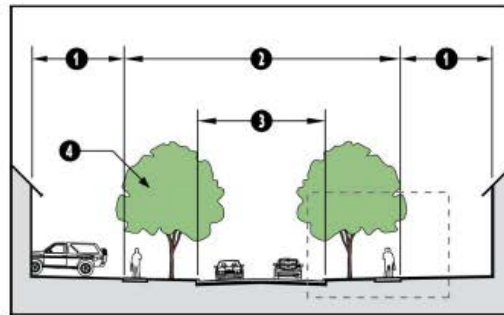
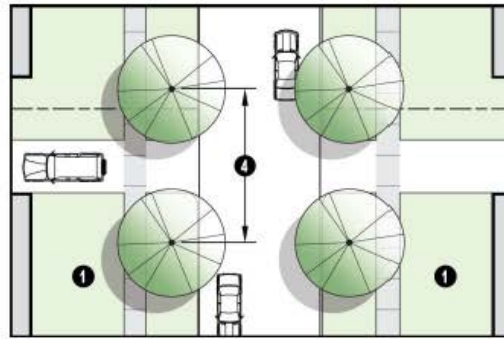
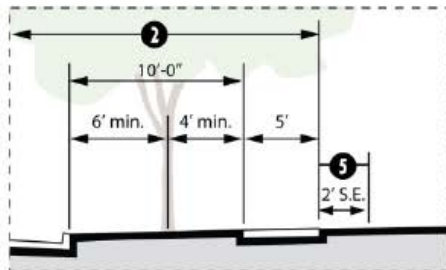


Figure 4.02.10.1. Residential Street, Front Entry

RESIDENTIAL STREET TYPE R2

Rear Entry

- 1** Front Yard Width may vary
- 2** R.O.W 60' width
- 3** Pavement 26' width F/F
- 4** Trees Canopy shade trees
35' on center - spacing
may vary due to site
conditions
3 ½ - inch caliper
6' min. from back of curb, 4'
min. from sidewalk
- 5** Sidewalk
easement 2' wide

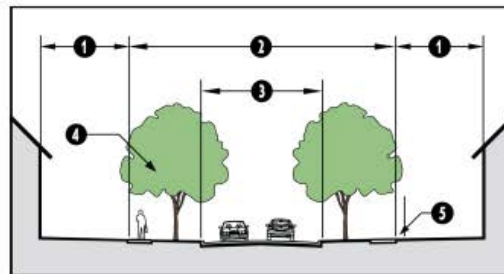
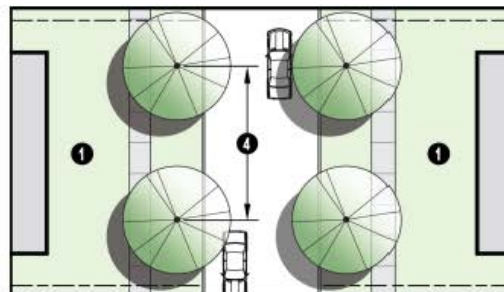
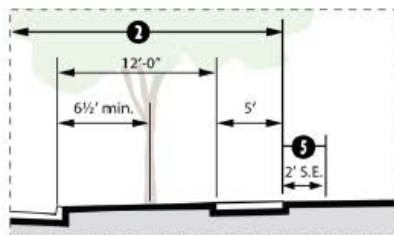


Figure 4.02.10.2. Residential Street, Rear Entry

Subsection 4.03. Screening Standards

...

4.03.02. Standards

(A) Applicability

~~Regulations are prescribed for the location and type of various screening devices to be used when required in the various zoning districts or in this section in accordance with the following standards.~~

- (1) ~~The property owner of a tract of land in a nonresidential zoning district shall be the responsible party for:~~ All areas covered by this section shall be screened from:
 - a. ~~the wall or fence construction on the property line where a tract is adjacent to a district or use required to be screened; and~~ all streets and adjacent property lines of residentially zoned parcels.
 - b. ~~Paving the area between the wall and/or fence and the alley according to Engineering Services' standards;~~ areas shown as single family or multifamily residential uses on the Future Land Use Map.
- (2) The property owner of a tract of land in a nonresidential zoning district shall be responsible for: ~~within a multifamily zoning district shall be the responsible party for when adjacent to a single family zoning district.~~
 - a. Providing the required screening on the nonresidential zoned property when adjacent to a single-family or multifamily zoning district.
- (3) The property owner of a tract of land within a multifamily zoning district shall be responsible for:
 - a. Providing the required screening on the multifamily zoned property when adjacent to a single-family zoning district.
 - b. Paving the area between the required screening and the alley according to Engineering Services' standards.

(B) Screening Wall Materials

A screening wall ~~or fence~~ required under the provisions of this section, ~~under a Specific Use Permit, a Planned Development District, or other requirement~~ shall be constructed of solid masonry clay-fired brick or natural stone masonry units ~~clay-fired brick or stone masonry units.~~

- (1) All wall or fence openings within a required screening element shall be equipped with gates equal in height and screening ~~characteristics~~ properties and/or materials to the wall or fence.
- (2) ~~Split face concrete masonry units, or pre-cast panels used in lieu of walls constructed of clay fired brick or stone materials shall be constructed only with approval by the Director.~~ Thin walls are permitted and shall be constructed over a concrete footing (grade beam) or a galvanized steel angle iron with four (4) inches by twelve (12) inch concrete mow strip beneath, per details to be approved by the Development Services Landscape Architect.
- (3) Optional materials, when approved by the Planning & Zoning Commission, include:
 - a. Split-face concrete masonry units shall meet the following standards:
 1. Color and finish to match building materials.
 2. Engineered and in accordance with local building codes.
 - b. Pre-cast concrete shall meet the following standards:
 1. Monolithic panels and columns.

2. Natural stone or conventional masonry patterns on all four sides except where notch appears to receive the connecting panel. Pattern repetition shall not be discernable in a single panel width. Masonry patterns shall have contrasting joint lines consistent with convention masonry materials and methods.
3. Columns shall have concrete or cast stone caps that are consistent with conventional masonry materials and methods.
4. Panels shall be constructed of normal weight concrete and reinforced per engineered drawings and in accordance with local building codes.
5. Panels shall be colored after installation with acrylic/polysiloxane structural concrete stain to provide the appearance of conventional natural stone or conventional masonry.

(C) Screening Wall Finishing on Both Sides

- (1) All required masonry screening walls shall be equally finished on both sides of the wall.
- (2) The style, color, and material of the wall must be consistent within the development.

(D) Screening Installation and Maintenance

- (1) ~~All required walls, fencing, and other screening materials must be installed and completed prior to final acceptance of the project. The property owner shall be responsible for the maintenance of all required screening materials.~~
- (2) All required screening materials must be installed and completed prior to final acceptance of the project of the development that requires the wall.
- (3) ~~Set in place wall panel construction methods are prohibited in conjunction with multifamily developments proposed after April 5, 2011.~~
- (4) ~~Repairs to existing walls will be permitted with the addition of galvanized metal supports being added to the area being repaired.~~
- (5) ~~Thin walls are permitted in conjunction with multifamily development, and shall be constructed over a concrete footing (grade beam) or a galvanized steel angle iron with four (4) inch by twelve (12) inch concrete mow strip beneath.~~

(E) Landscape Screening and Sight Visibility Triangle

Refer to the ~~Thoroughfare Design Standards Ordinance~~ Engineering Standards, as it exists or may be amended, for restrictions and limitations of improvements and landscaping in visibility easements.

~~(F) Screening Standards~~

~~In any residential district, or along the common boundary between any residential and nonresidential district where a wall, fence, or screening separation is erected, the following standards for height, location, and design shall be observed.~~

- ~~(1) Any fence or wall located to the rear of the minimum required front yard line shall not exceed eight (8) feet in height above the grade of the adjacent property.

 - ~~a. As shown in Figure 4.03.02.1: Where a Fence Intersects a Screening Wall, where a fence intersects a screening wall and the height of the fence exceeds the height of the screening wall, the height of the fence shall transition to the height of the screening wall over a distance of twenty (20) feet.~~~~

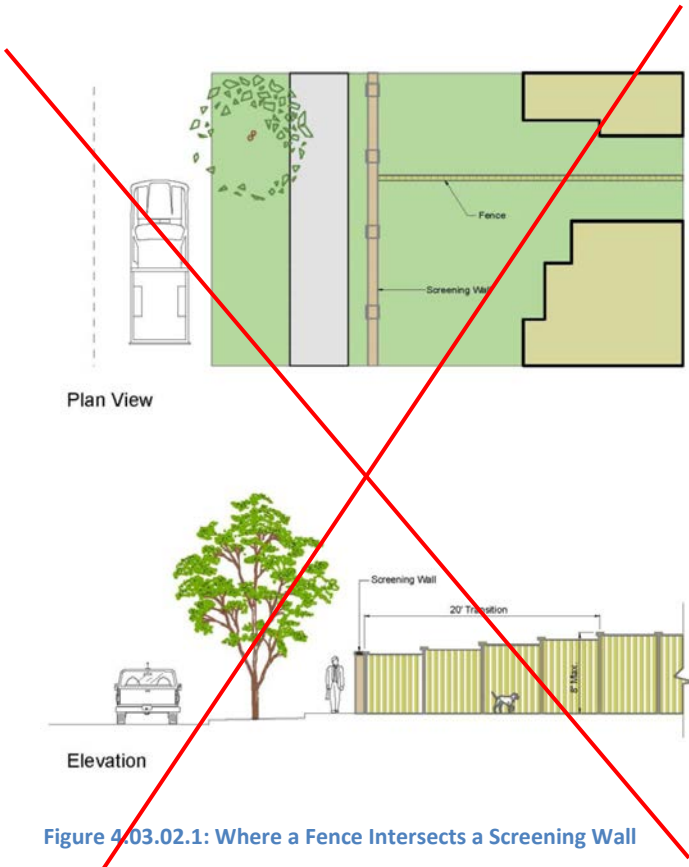


Figure 4.03.02.1: Where a Fence Intersects a Screening Wall

4.03.03. Screening/Buffer Areas

(Ord. No. 18-11-64; 11/05/18) & (Ord. No. 19-04-24; 04/02/19)

See [4.02.04. Landscape Area and Tree Requirements for Nonresidential, Mixed Use, and Multifamily Zoning Districts](#) (Page 129) for applicability.

SITE SCREENING TYPE B1

Solid Screening Wall

- | | | |
|---|--------------------|--|
| ① | Adjacent property* | Single Family
Multifamily |
| ② | Landscape buffer | 15' minimum width |
| ③ | Trees | One row;
30' on center |
| ④ | Wall | 8' in height;
14' at loading docks
Solid masonry |
| ⑤ | Min. Wall Height | 6' minimum vertical distance, bldg. entrance to top of wall elevation (see B2) |
| ⑥ | Pavement | Parking or other impervious surface |

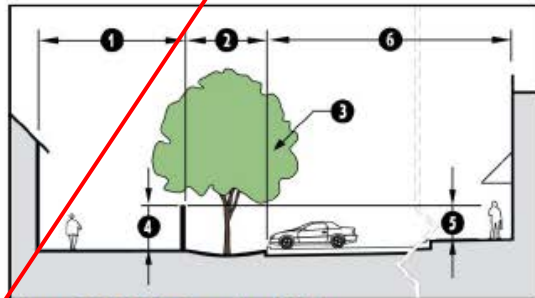
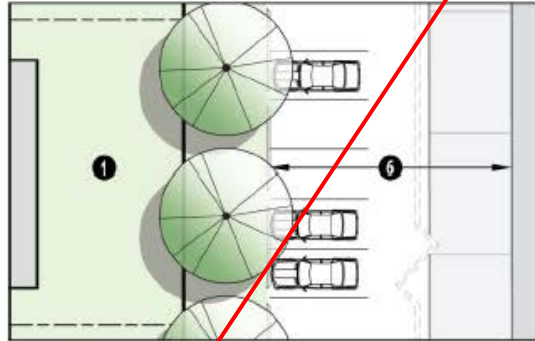


Figure 4.03.03.1: Screening Wall

SITE SCREENING TYPE B2

Screening Wall with Topographic Change

- | | | |
|---|--------------------|---|
| ① | Adjacent property* | Single Family;
Multifamily |
| ② | Alley R.O.W. | 18' minimum width |
| ③ | Terrace width | 8' minimum width;
Plant with shrubs, vines or groundcover |
| ④ | Landscape buffer | 15' minimum width |
| ⑤ | Paved surface | |
| ⑥ | Trees | One row;
30' on center |
| ⑦ | Wall | 8' in height;
Solid masonry |
| ⑧ | Min. Wall Height | 6' minimum vertical distance, building entrance finish grade to top of wall elevation |
| ⑨ | Retaining Wall | 6' maximum |

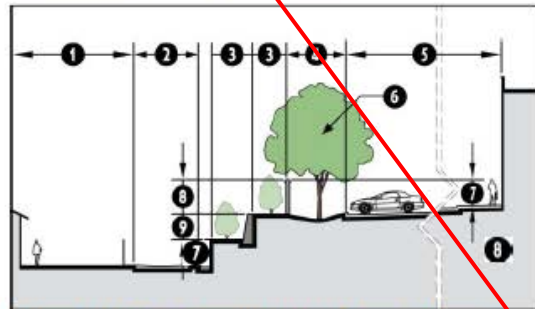
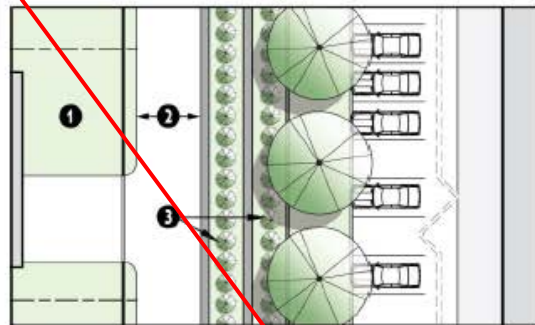


Figure 4.03.03.2: Screening Wall w/ Topo. Change

*Based upon the Zoning Map or Future Land Use Map

Screening Wall with View Fence

- | | | |
|----------|--------------------------------|---|
| 1 | Adjacent property ¹ | Single Family;
Multifamily |
| 2 | Buffer width | 15' minimum width;
10' for OTC adjacent to OTR |
| 3 | Pavement | Parking or other impervious surface |
| 4 | Trees | One row, evergreen ² selected from Living Screen list |
| 5 | Wall | 8' in height;
30% masonry;
70% open ornamental fence material (see B2);
Masonry is not required within the OTC |

Elevation detail:

- A** Landscape area
- B** View fence
- C** Solid masonry / pilaster wall

Note: View fence/wall design shown is a sample only.

¹Based upon the Zoning Map or Future Land Use Map
²Spacing shall be determined based on species and approved by the City's Landscape Architect.

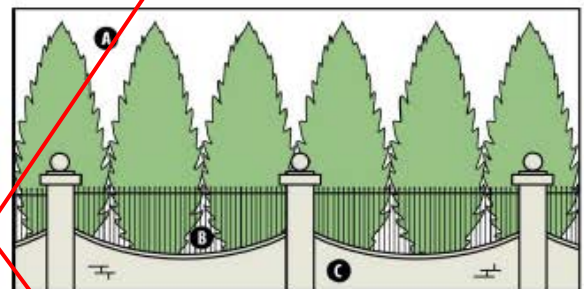
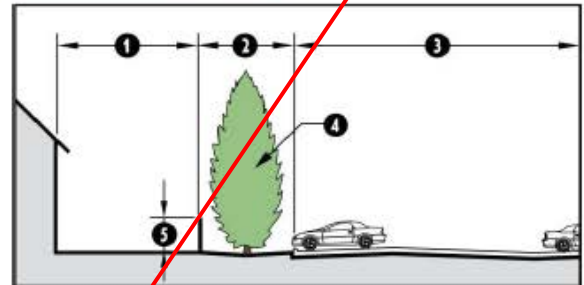
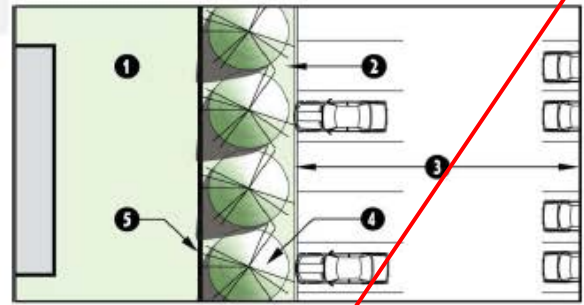


Figure 4.03.03.3: Screening Wall with View Fence

Living Screen¹

- | | | |
|----------|--------------------------------|---|
| 1 | Adjacent property ² | Single Family;
Multifamily |
| 2 | Landscape buffer | 15' minimum width, or as determined by landscaping |
| 3 | Pavement | Parking or other impervious surface; |
| 4 | Trees | Two rows, evergreen ³ (selected from Living Screen list);
8' in height at planting and create a solid screen (see B2);
14' when screening a loading dock |
| 5 | Private fence | Homeowner fence |

¹P&Z approval required for Living Screen.
²Based upon the Zoning Map or Future Land Use Map
³Spacing shall be determined based on species and approved by the City's Landscape Architect.

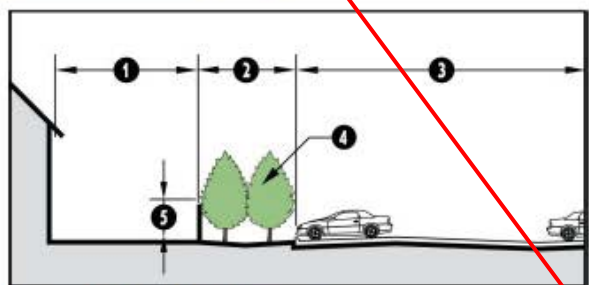
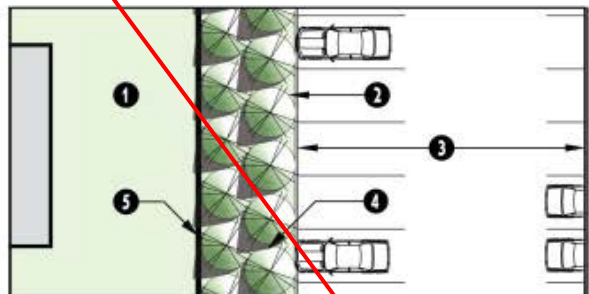


Figure 4.03.03.4: Living Screen

Natural Area with Enhanced Buffer

- 1 Feature **Riparian Buffer** or other designated natural feature, such as a pond or wetland
- 2 Buffer 30' minimum between developed area and a natural feature, such as a pond or wetland;

No buffer is required for a **Riparian Buffer**
- 3 Development Impervious surface and/or building;

Impervious surface graded to sheet flow to natural drainage;

Design with wheelstops or curb cuts to allow drainage into landscape area
- 4 Trail 8' minimum width;

Greater widths may be required by Parks Dept.;

Provide connections from development to trail.
- 5 Trees Large trees¹, 30' on center, where natural vegetation is not sufficient.

35% canopy coverage is required in the buffer area; where existing trees are insufficient to provide 35% coverage, additional trees shall be added.
- 6 Groundcover Appropriate native seed mix

¹ Select native and adapted upland shade and understory trees.

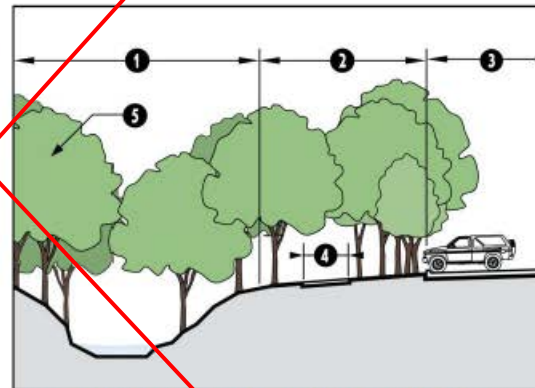
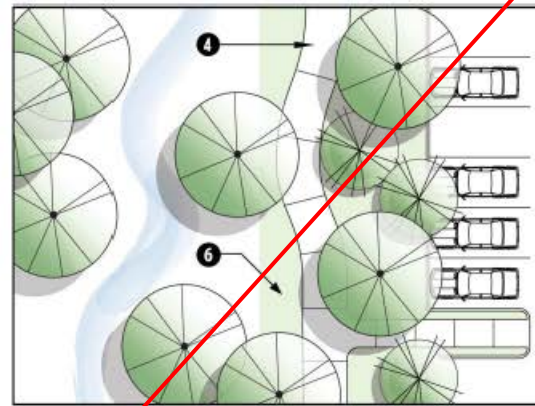


Figure 4.03.03.5: Natural Area with Enhanced Buffer

4.03.03. Screening/Buffer Areas

(Ord. No. 18-11-64; 11/05/18) & (Ord. No. 19-04-24; 04/02/19)

SCREENING REQUIREMENTS BY USE					
	Retail	Office/ Non-Retail	Multi- Family	Mixed- Use	OTC
Screening/Buffer Areas (Figures on Page 128)					
B1 Solid Screening Wall	R	R	R		
B2 Living Screening	O	O	O		
B3a Screening (topographical change 1)	R/O	R/O	R/O		
B3b Screening (topographic change 2)	R/O	R/O	R/O		
B3c Screening (topographic change 3)	R/O	R/O	R/O		
B3d Screening (topographic change 4)	R/O	R/O	R/O		
B4 Screening Partially Solid Wall	O	O	O		R
B5 Screening Wall for OTC District					R
B6 Natural Area w/ Enhanced Buffer	R	R	R	R	
B7 Screening Buffer w/ Double Row of Trees	R	R		R	
Notes: O = Optional; R= Required					

SITE SCREENING TYPE B1

Screening Wall

- | | | |
|----------|--------------------------------|--|
| 1 | Adjacent property ¹ | Single-family
Multi-family |
| 2 | Landscape buffer | 15' minimum width |
| 3 | Trees | Canopy shade trees
30' on center
One row |
| 4 | Wall | 8' in height
14' at loading dock |
| 5 | Min. Wall Height | Solid masonry brick or stone to match building ²
8' min. vertical distance, building entrance elevation to top of wall elevation (see B3a & B3b) |
| 6 | Pavement | Parking/impervious surface
Length varies |

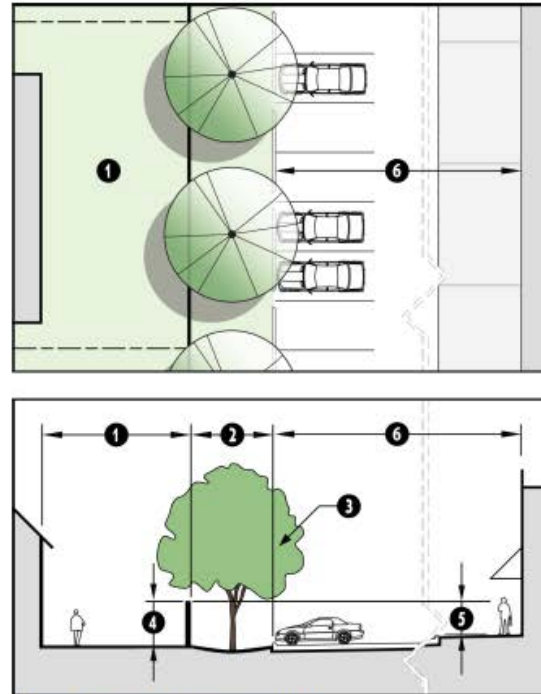


Figure 4.03.03.1: Screening Wall

SITE SCREENING TYPE B2

Living Screen³

- | | | |
|----------|--------------------------------|--|
| 1 | Adjacent property ¹ | Single-family
Multi-family |
| 2 | Landscape buffer | 15' minimum. width |
| 3 | Pavement | Parking/ impervious surface
Length varies |
| 4 | Trees | Two rows, evergreen (select from Living Screen list)
8' in height at planting to create a solid screen ⁴ |
| 5 | Private fence | Homeowner fence |

¹Based upon the Zoning Map or Future Land Use Map.

²Alternate Material to be approved by P&Z. See 4.03.02(B)(3)

³P&Z approval is required for Living Screen.

⁴Spacing shall be determined based on species and approved by the Development Services Landscape Architect.

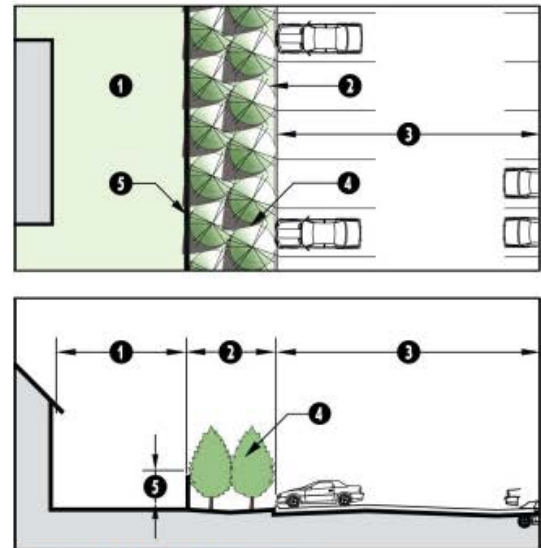


Figure 4.03.03.2: Living Screen

SITE SCREENING TYPE B3a

Screening Wall with Topographic Change

- | | | |
|----------|------------------------------------|--|
| 1 | Adjacent property ² | Single-family
Multi-family |
| 2 | Alley (R.O.W.)
Where applicable | See Engineering Standards |
| 3 | Terrace width | 8' minimum width
Plant with shrubs, vines or groundcover |
| 4 | Landscape buffer | 15' minimum width |
| 5 | Paved surface | Length varies |
| 6 | Trees | One row, canopy shade 30' on center |
| 7 | Min. Wall Height | 8' min. vertical distance, bldg. entrance elevation to top of wall elevation |
| 8 | Wall | 8' in height ²
Solid masonry brick or stone |
| 9 | Retaining Wall | 6' maximum |

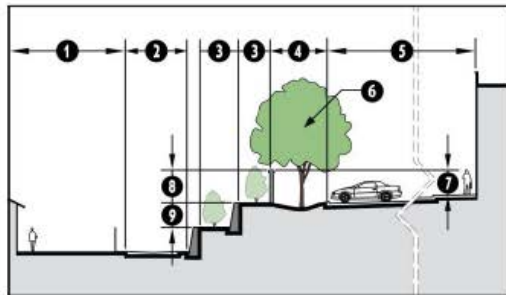
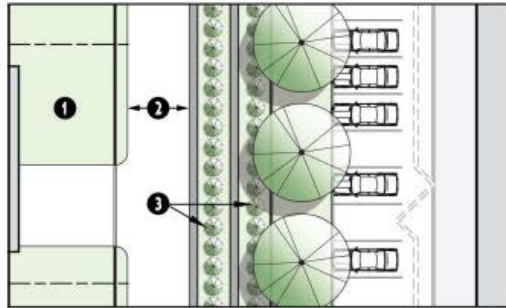


Figure 4.03.03.3: Screening Wall w/ Topographic Change

SITE SCREENING TYPE B3b

Screening Wall with Topographic Change

- | | | |
|----------|--------------------------------|---|
| 1 | Adjacent property ² | Single-family
Multi-family |
| 2 | Alley R.O.W | See Engineering Standards |
| 3 | Slope | 10:1 maximum
Length varies |
| 4 | Landscape buffer | 15' minimum width |
| 5 | Paved surface | Length varies |
| 6 | Trees | Canopy shade
One row, shade trees 30' on center |
| 7 | Min. Wall Height | 8' min. vertical distance, building finish floor elevation to top of wall |
| 8 | Wall | 8' in height ²
Solid masonry |

²Based upon the Zoning Map or Future Land Use Map
² The top of wall elevation must be 8' higher than the finish floor elevation of the nearest nonresidential building to the residential development.

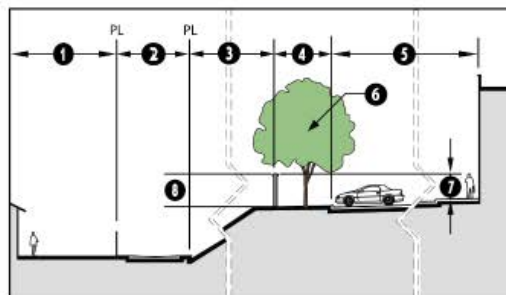
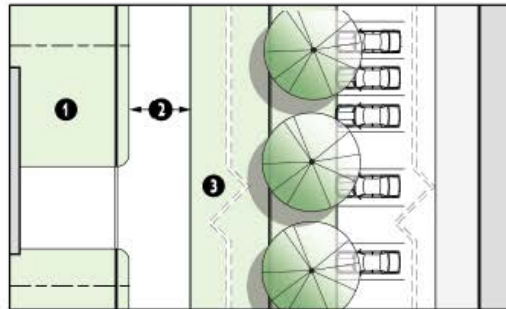


Figure 4.03.03.4: Screening Wall w/ Topographic Change

SITE SCREENING TYPE B3c

Screening Wall with Topographic Change

- | | | |
|----------|--------------------------------|---|
| 1 | Adjacent property ¹ | Single-family
Multi-family |
| 2 | Landscape Buffer | 15' minimum width |
| 3 | Trees | One row, canopy shade trees
30' on center |
| 4 | Screening wall ² | 8' in Height ³
Solid masonry brick or stone constructed on reinforced masonry base wall |
| 5 | Private fence | Homeowner fence |
| 6 | Retaining wall | Existing with Single Family/Multifamily development |

¹Based upon the Zoning Map or Future Land Use Map
²The masonry wall is intended to replace the builder wood fence and shall be coordinated with the residential construction and adjacent property owners.
³ The top of wall elevation must be 8' higher than the finish floor elevation of the nearest residential building in the residential development.

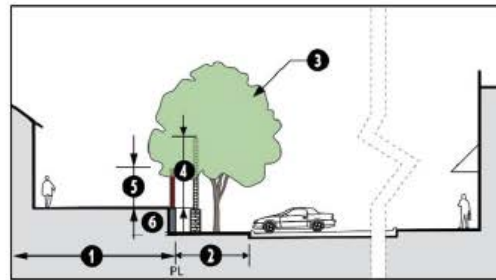
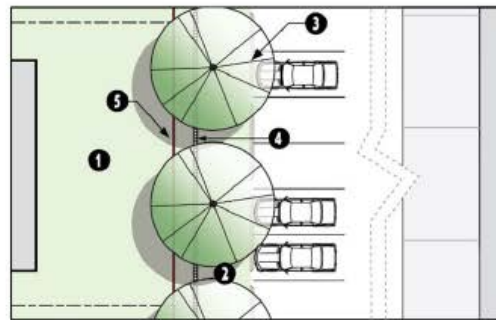


Figure 4.03.03.5: Screening Wall w/ Topographic Change

SITE SCREENING TYPE B3d

Screening Wall with Topographic Change

- | | | |
|----------|--------------------------------|---|
| 1 | Adjacent property ¹ | Single-family
Multi-family |
| 2 | Landscape Buffer | 15' minimum width |
| 3 | Trees | One row canopy shade trees
30' on center |
| 4 | Screening wall | 8' in Height ³
Solid masonry brick or stone constructed on retaining wall |

¹Based upon the Zoning Map or Future Land Use Map
²The masonry wall is intended to replace the builder wood fence and shall be coordinated with the residential construction and adjacent property owners.
³ The top of wall elevation must be 8' higher than the finish floor elevation of the nearest residential building in the residential development.

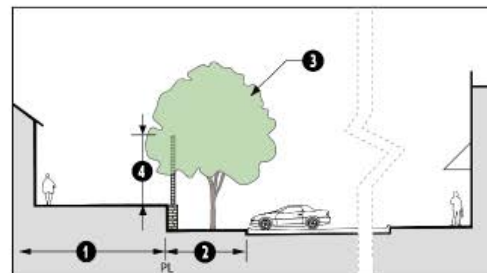
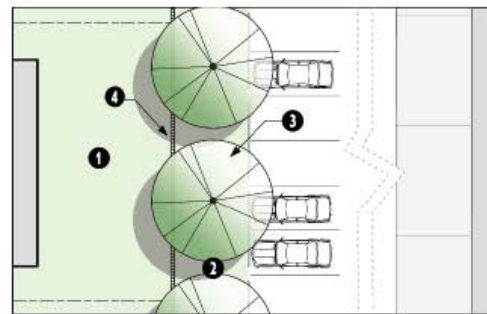


Figure 4.03.03.6: Screening Wall w/ Topo. Change

Screening Wall with View Fence

1	Adjacent property ¹	Single-family Multi-family
2	Buffer width	15' minimum width See B5 for OTC adjacent to OTR
3	Pavement	Paved surface area
4	Trees	One row, evergreens selected from Living Screen list ²
5	Wall	8'in height 50% masonry; 50% open ornamental fence

Elevation detail:

- A** Landscape area
- B** View fence
- C** Solid masonry wall & pilaster (brick or stone)

¹Note: View fence shown is a sample only.

²Based upon the Zoning Map or Future Land Use Map

³Spacing shall be determined based on species and approved by the Development Services Landscape Architect.

⁴Note: if the residential property fence is already built, the residential property owners may remove the wood fencing and use this screening wall as their fence.

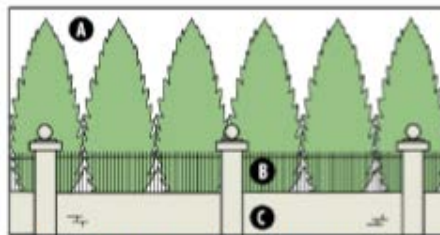
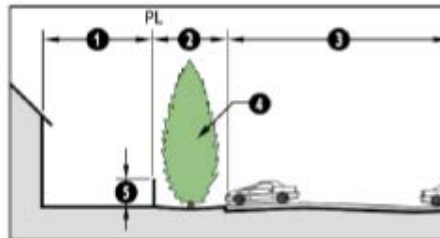
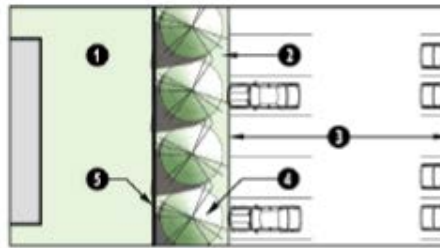


Figure 4.03.03.7: Screening wall with View Fence

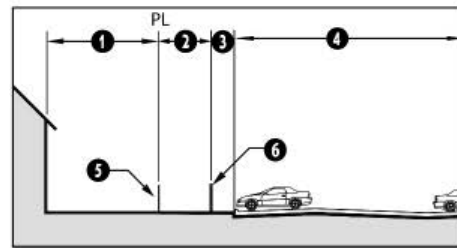
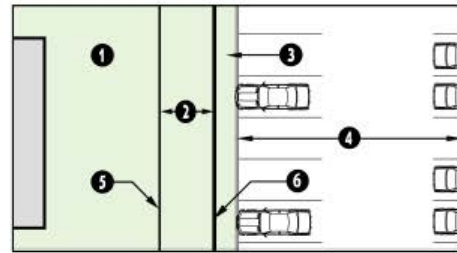
Screening Wall for OTC & OTC* District

- 1** Adjacent property¹ Single Family, OTR Zoning District & multifamily use
- 2** Existing Original Town Alley 10' Wide (not applicable to all properties)
- 3** Wall Maintenance easement/landscape edge 5' wide landscape area² Acceptable materials include decomposed granite, low ground covers and turfgrass.
- 4** Paved surface Parking/drive aisle
- 5** Property line with homeowner fencing Height varies (6' typical)
- 6** Screening wall 6' in height
Top 3 feet: metal or masonry with openings or perforations

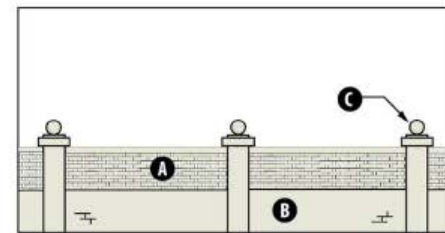
Bottom 3 feet:
Solid masonry or metal
(See options)

- Option 1
 - A** Top: Brick masonry lattice work³
 - B** Bottom: Solid brick masonry
 - C** Pilaster: Solid brick masonry with cap
- Option 2
 - A** Top: Decorative CMU⁴
 - B** Bottom: Split face CMU
 - C** Pilaster: Split face CMU to match
- Option 2
 - A** Top: Laser cut metal⁵
 - B** Bottom: Solid metal, match top
 - C** Pilaster: Design and material may vary

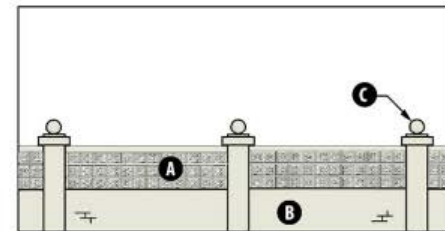
¹Based upon the Zoning Map or Future Land Use Map
²Note a reduced width is permissible with Director of Development Services approval. Appeals can be made as noted in the Zoning Ordinance Section 6.19.09.
³Brick lattice work is a masonry technique that leaves a 2-3" gap between each brick as each course is laid.
⁴Decorative CMU is a concrete masonry unit product that is typically formed in geometric patterns with openings and is reminiscent of midcentury modern design.
⁵Laser-cut metal may consist of steel or aluminum panels with custom or manufactured laser-cut designs.



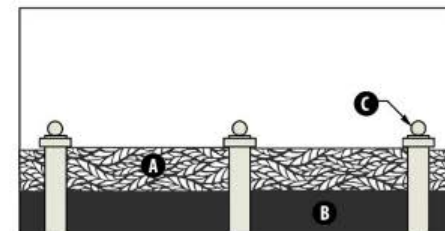
Screening Wall with View Fence



Option 1



Option 2



Option 3

Figure 4.03.03.8: OTC to OTR Options

Natural Area with Enhanced Buffer

- 1 Feature Major Creek, Riparian Buffer or another designated natural feature, such as a pond or wetland
- 2 Buffer 30' minimum between developed area and a natural feature.
- 3 Development Impervious surface
- 4 Trail 8' minimum width
Provide connections from development to trail.
- 5 Trees Canopy Shade trees¹, 30' on center, where natural vegetation is not sufficient.
- 6 Groundcover Appropriate native seed mix
- 7 Headlight Screen Evergreen shrubs – maintained at 3' minimum height.

¹Select native and adapted upland shade and understory trees.
²Impervious surfaces graded to sheet flow to natural drainage. Design with wheel stops or curb cuts to allow drainage into landscape area.

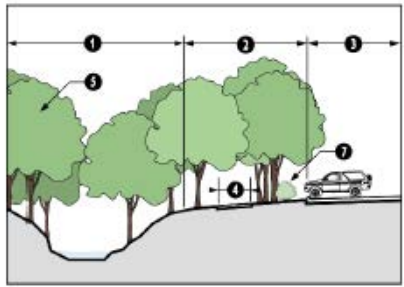
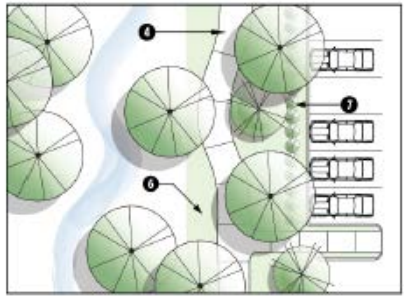


Figure 4.03.03.9: Natural Area with Enhanced Buffer

Screening with Double Row of Trees Where Rear Façade is not Architecturally Finished

- | | | |
|----------|--------------------------------|---|
| 1 | Adjacent property ² | Single Family
Multifamily, other |
| 2 | Landscape buffer | 40' minimum width |
| 3 | Trees | Two rows of canopy shade trees.
30' on center- triangular spacing |
| 4 | Wall | 8' in height
14' at loading docks
Solid masonry brick or stone to match building |
| 5 | Min. Wall Height | 8' minimum vertical distance, bldg. entrance elevation to top of wall elevation (see B3 and B4) |
| 6 | Rear building facade | Rear façade matches architectural articulation in color only. |

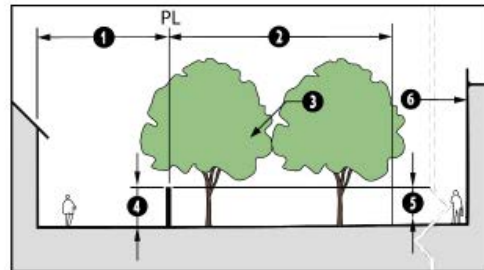
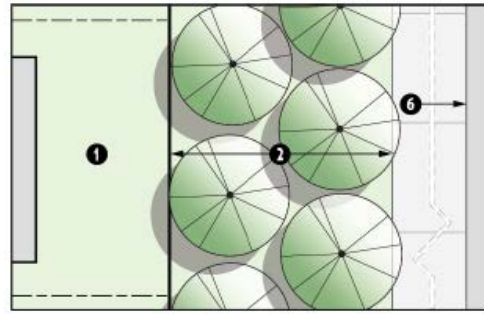


Figure 4.03.10: Screening with Double Row of Trees

4.03.04. Location of Required Screening

SCREENING REQUIREMENTS FOR PROPERTY PERIMETERS						
Screening Scenario	Screening Type					Additional Standards and Notes
	B1	B2	B3	B4	B5	
<p>Nonresidential, siding or backing to:</p> <ul style="list-style-type: none"> • Multifamily zoning district • Listed residential districts (see notes) • Property that is both zoned AG and shown on the Comprehensive Plan's Future Land Use Map as residential land use • Nonresidential use in a Single Family Zone 	•	•	•	•		<p>Listed residential districts:</p> <ul style="list-style-type: none"> • RE – Residential Estate District • SF-16 – Single Family Residential-16 District • SF-12.5 – Single Family Residential-12.5 District • SF-10 – Single Family Residential-10 District • SF-8.5 – Single Family Residential-8.5 District • SF-7 – Single Family Residential-7 District • OTR – Original Town Residential District • PH – Patio Home District • 2F – Two Family Residential (Duplex) District • TH – Townhome District • MF-15 – Multifamily-15 District • MF-19 – Multifamily-19 District • MH – Manufactured Home District <p>Option B4 is subject to approval from the Planning & Zoning Commission.</p> <p>Other equivalent screening options may be reviewed and approved by the Director.</p>
Thoroughfare screening						See Section 8.06 (Thoroughfare Screening) of the Subdivision Ordinance No. 09-07-38,
Parking in OTC adjacent to residential			•			
Nonresidential and Multifamily adjacent to a Major Creek					•	<p>Additional fencing may be required and/or approved by the Planning & Zoning Commission to provide a more protective barrier between the properties.</p> <ul style="list-style-type: none"> • Tubular steel, wrought iron, or similar material. • Four (4) foot minimum height. • Eight (8) foot maximum height. <p>Berms may be used subject to approval by the Director of Engineering Services.</p>
Topographic changes		•				Living screen requirements on sites with topography changes are subject to the discretion of the Director.

Note: Dots (•) indicates applicability.

SCREENING REQUIREMENTS FOR PROPERTY PERIMETERS

Screening Scenario	Screening Type							Additional Standards and Notes
	B1	B2	B3	B4	B5	B6	B7	
<p>Nonresidential, siding or backing to:</p> <ul style="list-style-type: none"> • Multifamily zoning district • Listed residential districts (see notes) • Property that is both zoned AG and shown on the Comprehensive Plan's Future Land Use Map as residential land use • Nonresidential use in a Single Family Zone 	•	•	•	•	•	•	•	<p>Listed residential districts:</p> <ul style="list-style-type: none"> • RE – Residential Estate District • SF-16 – Single Family Residential-16 District • SF-12.5 – Single Family Residential-12.5 District • SF-10 – Single Family Residential-10 District • SF-8.5 – Single Family Residential-8.5 District • SF-7 – Single Family Residential-7 District • OTR – Original Town Residential District • PH – Patio Home District • 2F – Two Family Residential (Duplex) District • TH – Townhome District • MF-15 – Multifamily-15 District • MF-19 – Multifamily-19 District • MH – Manufactured Home District <p>Option B2 is subject to approval from the Planning & Zoning Commission.</p>
Parking in OTC & OTC* adjacent to residential use					•			
Nonresidential and Multifamily adjacent to a Major Creek						•		
Topographic changes			•					Living screen requirements on sites with topography changes are subject to the discretion of the Director of Development Services.

Note: Dots (•) indicates applicability.

*Thoroughfare Screening: See Section 8.06 – Thoroughfare Screening, Subdivision Ordinance No. 09-07-38, as is exists or may be amended.

*Other screening options or combinations may be approved by the Director of Development Services.

4.03.05. Screening for Outside Storage and Display

SCREENING REQUIREMENTS FOR OUTDOOR STORAGE AND DISPLAY						
Use / Zoning District	Screening Type					Additional Standards and Notes
	B1	B2	B3	B4	B5	
General storage and display, visible from streets and residential areas	●					Evergreen trees at fifteen (15) feet on center with continuous row of 5-gallon evergreen shrubs.
Wrecking, Junk, and Salvage Yards	●					Items displayed shall be one (1) foot below the screening wall.
TO & PRO Districts	●	●				Also requires a fourteen (14) foot tall wing wall. (See Figure 4.03.06.1 (Page 147))
I Districts	●	●	●	●		Wall shall be eight (8) feet when screening from the street and fourteen (14) feet (wing wall) when screening the storage area from residential.
Note: Dots (•) indicates applicability.						

SCREENING REQUIREMENTS FOR OUTDOOR STORAGE AND DISPLAY						
Use / Zoning District	Screening Type					Additional Standards and Notes
	B1	B2	B3	B4	B5	
General storage and display, visible from streets and residential areas	●					Evergreen trees at fifteen (15) feet on center with continuous row of 5-gallon evergreen shrubs.
Wrecking, Junk, and Salvage Yards	●					Items displayed shall be one (1) foot below the screening wall.
TO & PRO Districts	●	●				Also requires a fourteen (14) foot tall wing wall. (See Figure 4.03.06.1 (Page 147))
I Districts	●	●	●	●		Wall shall be eight (8) feet when screening from the street and fourteen (14) feet (wing wall) when screening the storage area from residential.
Note: Dots (•) indicates applicability.						

(A) Outside Storage and Display Requirements

(1) Elements within Outside Storage and Display Areas

- a. Outside storage and display areas shall only contain equipment, vehicles, commodities, materials, goods, or merchandise that is sold, rented, or distributed within the inside of a building of a primary use, unless it is demonstrated to the Director that such products or materials could not be located indoors.
- b. Outside Storage and Display, Sales, or Operations

1. No outside storage and display, sales, or operations shall be permitted unless such activity is visually screened from all streets and adjacent property lines of residentially zoned parcels or areas shown as single family residential or multifamily use on the Future Land Use Map.
2. These regulations do not apply to temporary outside merchandise display, such as a sidewalk sale, where an outside area is used for merchandise display for less than 90 calendar days in one calendar year. If an area is used for more than 90 calendar days in one calendar year, then it shall comply with this section.

(2) Prohibited Areas

- a. Outside storage and display areas are prohibited within any required front/side yards.
- b. Outside storage and display areas are prohibited in within any drainage or other type of easement.
- c. Outside storage and display areas are prohibited within any required parking spaces, loading areas, fire lanes, vehicular moving aisles, or customer ~~pick-up~~ pickup lanes.

(3) Visual Obstruction and Interference

- a. Outside storage and display areas shall not obstruct visibility or interfere with pedestrian or vehicular circulation and shall be subject to the following requirements:
 1. A minimum six (6) foot wide pedestrian path shall be maintained between outside storage and display areas and vehicular maneuvering aisles; and
 2. A minimum six (6) foot wide pedestrian path shall be maintained between any entry or exit doors from the primary use building to the vehicular maneuvering aisles or parking areas.
- b. Outside storage and display visible from streets and residential areas shall be located one (1) foot below a screening wall.

(4) ~~Size Limitation~~

- ~~a. Outside storage and display areas shall not occupy an area exceeding twenty five (25) percent of the gross floor area of the primary building, or ten (10) percent of the lot area, whichever is most restrictive.~~
- ~~b. Exception to the Size Limitation of Outside Storage and Display Areas
If the outside storage and display area exceeds these requirements, it must be presented on the Site Plan and requires Planning & Zoning Commission approval.~~

(4) Exemptions

Outside storage and display areas shall not apply to new and used sales or lease of automobile, motorcycle, recreational vehicles, or watercraft and similar facilities requiring outside display.

(5) Temporary Uses

Seasonal and temporary storage areas shall provide for electrical plug-ins if storage containers require electrical service.

4.03.06. Screening for Loading Docks, Bays and Service Areas

SCREENING REQUIREMENTS FOR DOCKS AND SERVICE AREAS						
	Screening Type					Additional Notes
	B1	B2	B3	B4	B5	
Docks and bays when visible from a street or residential zone	●	●	●	●		Living screen trees to soften the wall with fourteen (14) foot tall wing wall (See Figure 4.03.06.1 (Page 147))
PRO and TO Districts	●	●	●	●		May not face Preston Road and the Dallas North Tollway May face other streets with landscape buffer (See Figure 4.03.06.1 (Page 147))
IT districts	●	●	●	●		Requires a fourteen (14) foot tall wing wall (See Figure 4.03.06.1 (Page 147))
Docks and bays adjacent to a major creek				●	●	Fourteen (14) foot tall solid living screen
Note: Dots (●) indicates applicability.						

SCREENING REQUIREMENTS FOR OUTDOOR STORAGE AND DISPLAY								
Use / Zoning District	Screening Type							Additional Standards and Notes
	B1	B2	B3	B4	B5	B6	B7	
General storage and display, visible from streets and residential areas	●			●				Evergreen trees planted at fifteen (15) feet on center with continuous row of 5-gallon evergreen shrubs. Items displayed shall be one (1) foot below the screening wall.
Wrecking, Junk, and Salvage Yards	●			●				Items displayed shall be one (1) foot below the screening wall.
TO & PRO Districts	●			●				Also requires a fourteen (14) foot tall wing wall. (See Figure 4.03.06.1 (Page 138))
I Districts	●			●				Wall shall be eight (8) feet when screening from the street and fourteen (14) feet (wing wall) when screening the storage area from residential.
Note: Dots (●) indicates applicability.								

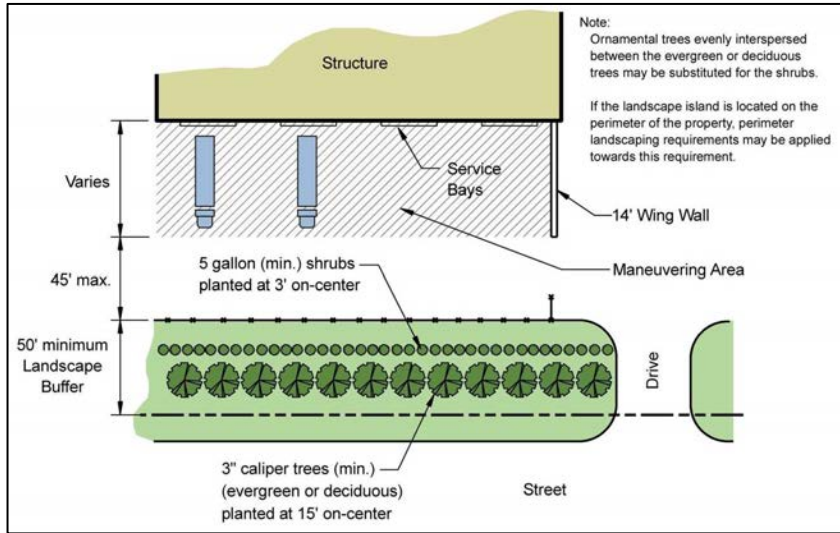


Figure 4.03.03.10: Service Bay Requirement within an Applicable Zoning District

4.03.07. Screening for Refuse (Trash) and Recycling Storage Container Screening

(A) Refuse and Recycling Collection Areas

- (1) ~~Refuse and recycling collection areas shall be located to minimize their visibility from public streets.~~
Location:
 - a. Each refuse facility shall be located to provide safe and convenient pickup by refuse collection agencies using a fifteen (15) foot inside turning radius with a thirty (30) foot approach.
 - b. Trash dumpsters shall be located a minimum of fifty (50) feet from a residential apartment building and one hundred (100) feet from an adjacent Residential zoning district boundary line.
 - c. Trash compactors shall be located a minimum of fifty (50) feet from residential apartment buildings.
 - d. Compactors shall be minimum of one hundred fifty (150) feet from other Residential district boundary lines.
 - e. Refuse or recycling storage facilities are prohibited in a designated parking or loading space.
 - f. Refuse or recycling storage facilities shall not be located between a building and street unless approved by the Director of Development Services.
 - g. Refuse or recycling storage facilities shall not be located adjacent to designated Nonresidential Open Space.
- (2) ~~Refuse and recycling receptacles shall be screened with a six (6) to eight (8) foot masonry wall of a color to match the primary building.~~ Refuse and recycling receptacles shall be screened from view on (3) sides from persons standing on the ground or on an immediately adjoining property with the following:
 - a. ~~Screening enclosures shall be visually and aesthetically compatible with the overall project.~~ A masonry wall of materials and color that match the primary building, not less than six (6) feet, nor more than eight (8) feet, in height or by an enclosure within a building.
 - b. A minimum five (5) gallon shrubs planted thirty (30) inches on center to soften the appearance of the walls.

- (3) ~~Refuse and recycling collection enclosures shall contain preservice opening not directly facing any public right-of-way or any residentially zoned property. The fourth side may incorporate a metal gate to visually screen the dumpster or compactor. Refuse and recycling collection enclosure doors cannot open into or obstruct the fire lane, access easement, or utility easement.~~
- (4) ~~Single family and duplex dwellings shall be exempt from these refuse and recycling collection area screening requirements.~~
- (5) ~~Single family and duplex dwellings shall be exempt from these refuse and recycling collection area screening requirements~~

(B) ~~Placement of Refuse and Recycling Storage Collections Facilities in a Parking Lot~~ Additional Requirements

- (1) ~~Refuse or recycling storage facilities located in a parking lot are prohibited in a designated parking or loading space.~~ Recycling Facilities
 - a. Properties consisting of thirty (30) or more total dwelling units shall, in addition to refuse facilities, construct recycling facilities suitable to hold the capacity for the on-site recycling programs.
 - b. Recycling facilities will meet the same setback criteria as refuse facilities.
- (2) ~~Refuse or recycling storage facilities and screening shall be located a distance of twenty five (25) feet away from the intersection of two (2) or more fire lanes and/or drive aisles. Distance shall be measured from the intersecting center lines of the lanes and/or aisles.~~
- (3) ~~Each refuse or recycling storage facility shall be located so as to facilitate pickup by refuse collection agencies and shall be screened according to this **Subsection 4.03 Screening Standards**.~~
- (4) ~~Refuse or recycling storage facilities shall not be located between a building and street unless approved by the Director.~~

(C) ~~Additional Requirements for Overlay Zoning Districts~~

- (1) ~~Applicability~~
~~The following additional standards shall apply to all development within the following districts.~~
 - a. ~~PRO—Preston Road Overlay District~~
 - b. ~~TO—Tollway Overlay District~~
- (2) ~~Refuse and Recycling Collection Areas~~
~~Refuse storage enclosures are required for all developments. Enclosures shall meet the following.~~
 - a. ~~Be three sided and consist of solid walls of six (6) to eight (8) feet in height, constructed of material type and color to match the building.~~
 - 1. ~~Compactors shall be enclosed on three (3) sides by a solid wall with a minimum height of eight (8) feet and the fourth side by an eight (8) foot gate.~~
 - b. ~~Be designed to contain all refuse generated on-site between solid waste collections.~~
 - c. ~~Not be located in front yard setbacks and generally not be visible from adjacent streets or residential uses.~~
 - d. ~~Screening Walls for Refuse and Recycling Collection Areas~~
 - 1. ~~Screening walls for refuse and recycling collection areas shall be constructed of primary exterior construction materials listed for the sub-district.~~
 - 2. ~~Vegetation shall be used to soften the appearance of the walls. This may include either vines trained up the wall or minimum five (5) gallon shrubs planted thirty (30) inches on center.~~

~~(D) Additional Requirements for Multifamily Districts~~

- (1) **Screening**
Each refuse facility shall be screened from view on three (3) sides from persons standing at ground level on the site, or immediately adjoining property by a masonry wall not less than six (6) feet, nor more than eight (8) feet, in height or by an enclosure within a building.
- (2) **Health Regulations**
Refuse containers shall be provided and maintained in a manner to satisfy local public health and sanitary regulations.
- (3) **Location**
 - a. ~~Each refuse facility shall be located so as to provide safe and convenient pickup by refuse collection agencies using a fifteen (15) foot inside turning radius with a thirty (30) foot approach.~~
 - b. ~~Trash dumpsters shall be located a minimum of fifty (50) feet from a residential apartment building and one hundred (100) feet from an adjacent Residential district boundary line. Dumpsters shall have a minimum six (6) foot wall enclosure with an evergreen screen around the perimeter.~~
 - c. ~~Trash compactors shall be located a minimum of fifty (50) feet from residential apartment buildings and have an eight (8) foot wall enclosure with an evergreen living screen around the perimeter. Compactors are to be a minimum of one hundred fifty (150) feet from other Residential district boundary lines.~~
- (4) **Recycling Facilities**
 - a. ~~Properties consisting of thirty (30) or more total dwelling units shall, in addition to refuse facilities, construct recycling facilities suitable to hold the capacity for the on-site recycling programs.~~
 - b. ~~Recycling facilities will meet the same setback criteria as refuse facilities.~~

4.03.08. Screening for Utilities, Mechanical, and Service Facilities

(A) Applicability

The ~~regulations provided in this section~~ following standards shall apply to all utility meters and associated apparatus associated with nonresidential, multifamily development and amenity centers for single family developments.

(B) ~~Finish of Accessory Elements~~ Ground-Mounted Equipment Screening

~~Exposed conduit, ladders, utility boxes, and drain spouts shall be:~~

- (1) ~~Painted to match the color of the building or an accent color, or~~ Ground-mounted utility meters and other utility apparatus, including transformers shall be located to the rear of the structure or to the side of the structure in a designated utility or service yard.
- (2) ~~Have a natural metal finish.~~ No pedestrian pathway or pedestrian common space shall be located between the main structure and the utility meters/apparatus.
- (3) All transformers shall be screened from the view of streets, sidewalks, walking paths, bicycle paths, and adjacent properties with landscape hedge/trees or other green material that obscures the visibility of the equipment.
- (4) Ground-mounted utility and other utility apparatus, including transformers, shall be screened from the view of streets, sidewalks, walking paths, bicycle paths, and adjacent properties. Screening shall meet minimum clearances required by affected utility companies. Permitted screening methods include:
 - a. Landscaping, including trees or evergreen shrubbery that materially obscures the visibility of the equipment.

1. All 3-phase transformers shall be screened with evergreen shrubs, minimum of six (6) foot height at time of planting.
2. All single-phase transformers shall be screened with evergreen shrubs, minimum four (4) foot height at time of planting. Indicate on the plans the location of all transformers and utility boxes.
- b. Masonry walls constructed of the same materials and color used in the primary building.
- c. Tubular steel in conjunction with evergreen shrubbery
- d. Other material subject to review and approval of the Director of Development Services consistent with the intent of this subsection.
- e. All approved screening methods shall be one (1) foot above the height of the utility box.

(C) ~~Ground Mounted and~~ Roof-Mounted Mechanical Equipment Screening

- (1) All mechanical equipment shall be screened from view ~~at a point six (6) feet above ground level at the property line.~~ from ground level.
- (2) ~~If~~ Where a parapet does not accomplish the intended screening, a screening wall equal to the height of the equipment shall be provided.
- (3) ~~Buildings adjacent to single family zoned property or property that is designed as single family on the Future Land Use Plan shall provide a screening wall equal to the height of the equipment on all sides that face the residential property.~~ Mechanical penthouses shall be integrated into the building's overall design using, but not limited to, ornamental elements, cohesive rooflines, opaque materials, glazing, and latticework cladding.
- (4) ~~In all cases, screening shall be compatible building materials.~~
- (5) ~~Mechanical penthouses shall complement overall building design.~~

(D) ~~Ground Mounted Service Equipment within Overlay Districts~~ Finish of Accessory Elements

Exposed conduit, ladders, utility boxes, and drain spouts shall be:

~~Within the PRO Preston Road Overlay District and TO Tollway Overlay District, all ground mounted service equipment such as air conditioners, transformers, and other service functions shall be located at the rear of all buildings and integrated into the building envelope or consolidated into enclosed service areas and screened with the primary building materials used on the building.~~

- (1) Painted to match the color of the building or an accent color.

4.03.09. Entryway Wall Standards for Subdivisions

...

(B) Materials

- (1) Walls shall be constructed of one of the following:
 - a. Wood materials screened by living plant materials, which shall require a dedicated ten (10) foot wide planting strip as provided on a plat.
 - b. The same material and in the same manner as the screening walls surrounding the subdivision.
 - c. Open Ornamental Fence (Page ~~Error! Bookmark not defined.~~) materials and may include masonry materials. If masonry materials are used, then masonry materials shall be ~~similar to~~ like the existing screening wall.

...

4.07.13. Residential Development Adjacent to Railways

(A) Minimum Building Setback, Screening, and Landscaping Requirements

When a boundary of a residential subdivision is adjacent to a railroad right-of-way, one of the two following options shall be met.

(1) Option One – Screening Wall

- a. A minimum building setback of fifty (50) feet shall be required from the railroad right-of-way.
- b. ~~A one hundred (100) percent clay fired brick or stone wall with a minimum height of six (6) feet shall be constructed on the railroad right-of-way line. Provide a B1 Screening Buffer adjacent to the Railroad Right-of-way. (For Screening Buffer see Figure 4.03.03. Site Screening Type B1 – Screening Wall (Page. XXX)).~~
Provide a B1 Screening Buffer adjacent to the Railroad Right-of-way. (For Screening Buffer see Figure 4.03.03. Site Screening Type B1 – Screening Wall (Page. XXX)).
- c. One three (3) inch caliper large tree shall be planted a at thirty (30) feet on center adjacent to the residential side of the wall.
 1. A minimum of fifty (50) percent of the trees shall be ~~of the~~ evergreen ~~variety.~~
 2. ~~The landscaped area shall be mechanically irrigated.~~
 3. ~~The lot owner shall be responsible for the replacement of required plant materials.~~

(2) Option Two – Open Space

- a. A minimum building setback of one hundred (100) feet shall be provided from the railroad right-of-way.
- b. ~~A maximum of twenty five (25) percent of the setback area may be utilized as usable open space as required in 2.03.09. PH – Patio Home District (Page 33) and 2.03.11. TH – Townhome District (Page 36). Provide a Living Screen adjacent to the Railroad Right-of-way. See Figure 4.03.04 Site Screening Type B2 – Living Screen (Page XXX)).~~
Provide a Living Screen adjacent to the Railroad Right-of-way. See Figure 4.03.04 Site Screening Type B2 – Living Screen (Page XXX)).
- c. ~~One three (3) inch caliper large tree shall be planted a minimum of thirty (30) linear feet on center adjacent to the residential side of the wall. A maximum of twenty-five (25) percent of the setback area may be utilized as usable open space as required in 2.03.09. PH – Patio Home District (Page Error! Bookmark not defined.) and 2.03.11. TH – Townhome District (Page XXX).~~
A maximum of twenty-five (25) percent of the setback area may be utilized as usable open space as required in 2.03.09. PH – Patio Home District (Page Error! Bookmark not defined.) and 2.03.11. TH – Townhome District (Page XXX).
 1. ~~A minimum of fifty (50) percent of the trees shall be of the evergreen variety.~~
 2. ~~The landscaped area shall be mechanically irrigated.~~
 3. ~~The lot owner shall be responsible for the replacement of required plant materials.~~

~~(3) Installation Timing~~

~~The required screening wall and landscaping shall be installed within three (3) months from the date of City acceptance of public improvements.~~

...

4.07.14. Nonresidential and Multifamily Development Adjacent to a Major Creek

(C) Nonresidential and Multifamily Amenities Required

...

(2) Amenities

a. Landscape Edge Adjacent to the Floodplain

1. ~~A thirty (30) foot landscape edge adjacent to the floodplain of the major creek with a double row of three (3) inch caliper trees planted on thirty (30) foot centers.~~ **Provide Screening Buffer Type B6** adjacent to the floodplain of the major creek. [\(For Screening Buffer see 4.03.03. Screening/ Buffer Areas \(Page XXX\)\).](#)

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4.08.02. Exterior Appearance of Buildings and Structures

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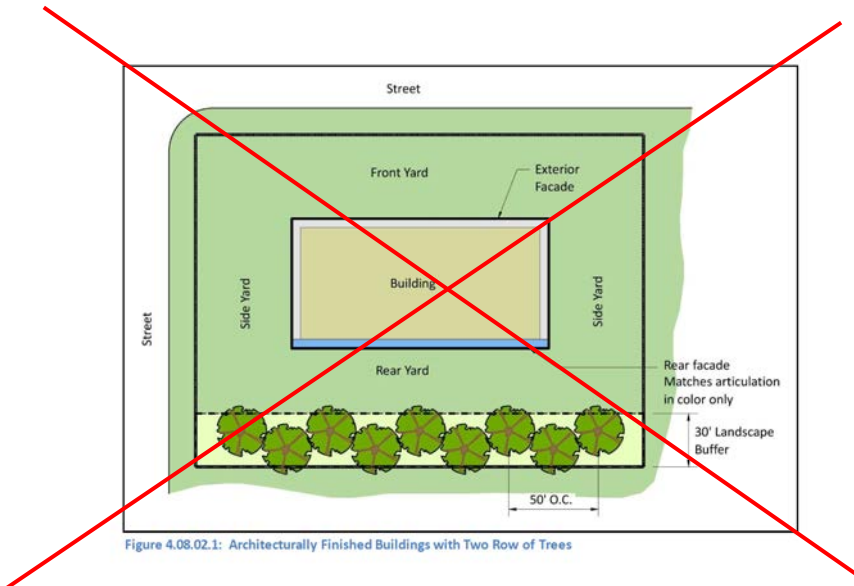
(C) Architecturally Finished Buildings ~~with One Row of Trees~~ on Four Sides

All buildings shall be architecturally finished on all four (4) sides with same materials, detailing, and features ~~if only (1) row of trees is planted on the perimeter behind the building.~~

(D) Architecturally Finished Buildings ~~with Two Row of Trees~~ on Three Sides

~~All buildings shall be architecturally finished on all four (4) sides with same materials, detailing, and features, except the rear side (façade) if~~ Where buildings are architecturally finished on three (3) sides (all sides except the rear façade) the following site-specific standards must be met.

- ~~(1) A double row of trees on fifty (50) foot offset centers per row are provided in a thirty (30) foot landscape buffer along the perimeter of the property, where fifty (50) percent of the trees are canopy evergreen trees.~~ Provide a B7 Screening Buffer found in 4.03.03, B7 Screening Buffer with Double Row of Trees (Page XXX)
- (2) The architectural finish of the rear side (façade) matches the remainder of the building in color only.
- (3) This standard is only applicable for façades that are not visible from public streets and applies to anchor buildings and attached inline spaces only and shall not include “out” buildings or pad sites.



Subsection 6.13. Landscape Plan Review

(Ord. 19-08-70; 8/20/19)

6.13.01. Process

(A) Landscape Plan Submission

- (1) The Landscape Plan shall be submitted with the Preliminary Site Plan, Site Plan and Substantially Conforming Site Plan as a document to aid in the review of the Preliminary Site Plan, Site Plan, and Substantially Conforming Site Plan. The Landscape Plan shall not be considered formally filed and shall not be acted on by the Director, the Planning & Zoning Commission or the City Council when submitted with such plans; however, failure to submit such plan, where such plan is required under this Ordinance, with the Preliminary Site Plan, Site Plan, or Substantially Conforming Site Plan shall be grounds for denial or rejection of the Preliminary Site Plan, Site Plan, or Substantially Conforming Site Plan application.
- (2) Landscape Plans ~~shall include the information listed on the Landscape Plan Checklist, as it exists or may be amended, which shall be established and maintained by the Director and published as part of the Development Application Handbook,~~ including but not limited to Planting Plans, Open Space Plans, Planting Details, and Grading Plans, shall be prepared, stamped, and signed by a Landscape Architect, registered in the State of Texas, and submitted for review.
- (3) Irrigation drawings shall be prepared, stamped, and signed by an Irrigator licensed by the State of Texas.

(B) Landscape Plan Approval

- (1) The landscape documents required under ~~Subsection 4.02.02. (C) Landscape Plan (Page 125)~~ this section, shall be filed for review and approval with the Construction Plans.
- (2) Landscape Plans shall ~~include the information listed on the Landscape Plan Checklist, as it exists or may be amended, which~~ comply with Subsection 4.02. Landscape Requirements (Page XXX) and shall include the information listed on the Landscape and Screening Plan Checklist, as it exists or may be amended, which shall be established and maintained by the Director and published as part of the Development Application Handbook.
- (3) The provisions of this Subsection shall be administered and enforced by the Director.
- (4) Permits for building, paving, utilities, or construction shall not be issued prior to an approval and construction release of required landscape documents by the City, unless approved by the Director.
- (5) Tree preservation requirements shall be met prior to construction release with a tree ~~penult~~ permit obtained pursuant to Subsection 4.01. Tree Preservation Requirements (Page 119)), prior to removal of trees and existing site vegetation.
- (6) An approved Landscape Plan shall expire ~~at the same time that~~ when the approved Construction Plans with which it was submitted expire.

Subsection 7.01. Terms and Words Defined

...

Estimated Landscape Water Use (ELWU)

The annual total amount of water estimated to be needed to keep the plants in the landscape area healthy, it is based upon the local reference evapotranspiration rate, the size of the landscape area, the types of plants, and the efficiency of the irrigation system.

ET—Evapotranspiration

Loss of water from the soil both by evaporation and by transpiration from the plants growing thereon.

ET₀ Adjustment Factor

A factor applied to Evapotranspiration, reference (ET₀) that adjusts for plant coefficients and irrigation efficiency, two major influences upon the amount of water that needs to be applied to the landscape. For the purpose of this example, the plant coefficient (Pc) shall be 0.3 and irrigation efficiency shall be 0.6. Therefore,

(A) Example: $ET_0 \text{ Adjustment Factor} = (0.3/0.6) = 0.5$

Evapotranspiration, reference (ET₀)

The rate of evapotranspiration from a hypothetical reference crop that is assumed to be free of water stress and disease.

...

Landscape Water Allowance (LWA)

For design purposes, the upper limit of annual applied water for the established landscape area. It is based upon the local reference evapotranspiration rate ET₀ (Evapotranspiration, reference (ET₀) (Page 1)), the ET₀ Adjustment Factor (Page 1), and the size of the landscape area.

Landscape Zone

A portion of the landscape area having plants with similar water requirements, site conditions or functions. (See Natural Landscape Zone, Water Resource Zone, and High Water Usage Zone).

...

Plant Coefficient (Pc)

A coefficient that, when multiplied by the reference evapotranspiration rate, estimates the amount of water used by plants.

...

Primary Building

See Building, Main

...

Smart Controller

~~Smart controllers estimate or measure depletion of available plant soil moisture in order to operate an irrigation system, replenishing water as needed while minimizing excess water use. A properly programmed smart controller requires initial site-specific set-up and will make irrigation schedule adjustments, including run times and required cycles, throughout the irrigation season without human intervention.~~

...

Structural Soil

~~A soil medium which is designed to meet or exceed pavement load bearing requirements while remaining root penetrable and supportive of tree growth.~~

...

Temporary Irrigation

An irrigation system that is used, ~~to establish native and adapted plants species~~ and is removed after a one-year establishment period.

...

Topographical Change

Topographic change is the rise or fall of the elevation (height) of the land.

...

Tree, Canopy Shade

A woody plant that typically has a single self-supporting trunk growing to at least 30 feet tall and bears a crown foliage.

Tree, Ornamental

A small stature tree, typically less than 30 feet in height, featuring flowers, single or multiple self-supporting stems and crown foliage.

...

Tree, Protected

(A) Trees that meet the following requirement and are determined to be healthy by the Director:

- (1) Any tree six (6) inches or larger in diameter when measured at a point four and one-half feet (4½') above the ground level and which normally attains a height of at least twelve (12) feet at maturity and is not on the list of excluded trees. See Development Application Handbook, as it

exists or may be amended.

(2) Any tree, regardless of species, four (4) inches or larger in diameter located in the Riparian Buffer or Floodplain.

(B) ~~The following trees are excluded from the above definition of Protected Trees except for trees within Riparian Buffers and Floodplains.~~ For a list of trees excluded from the above definition of Tree, Protected, see the Development Application Handbook, as it exists or may be amended.

#	Common Name	Botanical Name
1	Bois d' Arc	Maclura pomifera
2	Chinaberry	Melia azedarach
3	Cottonwood	Populus deltoides
4	Hackberry, Texas Sugarberry	Celtis laevigata
5	Honey Locust	Gleditsia triacanthos
6	Mesquite	Populus deltoides
7	Mimosa	Mimosa sp.
8	Mulberry	Morus rubra
9	Silver Leaf Maple	Acer saccharinum
10	White Poplar	Populus alba
11	Willow	Willow sp.

...